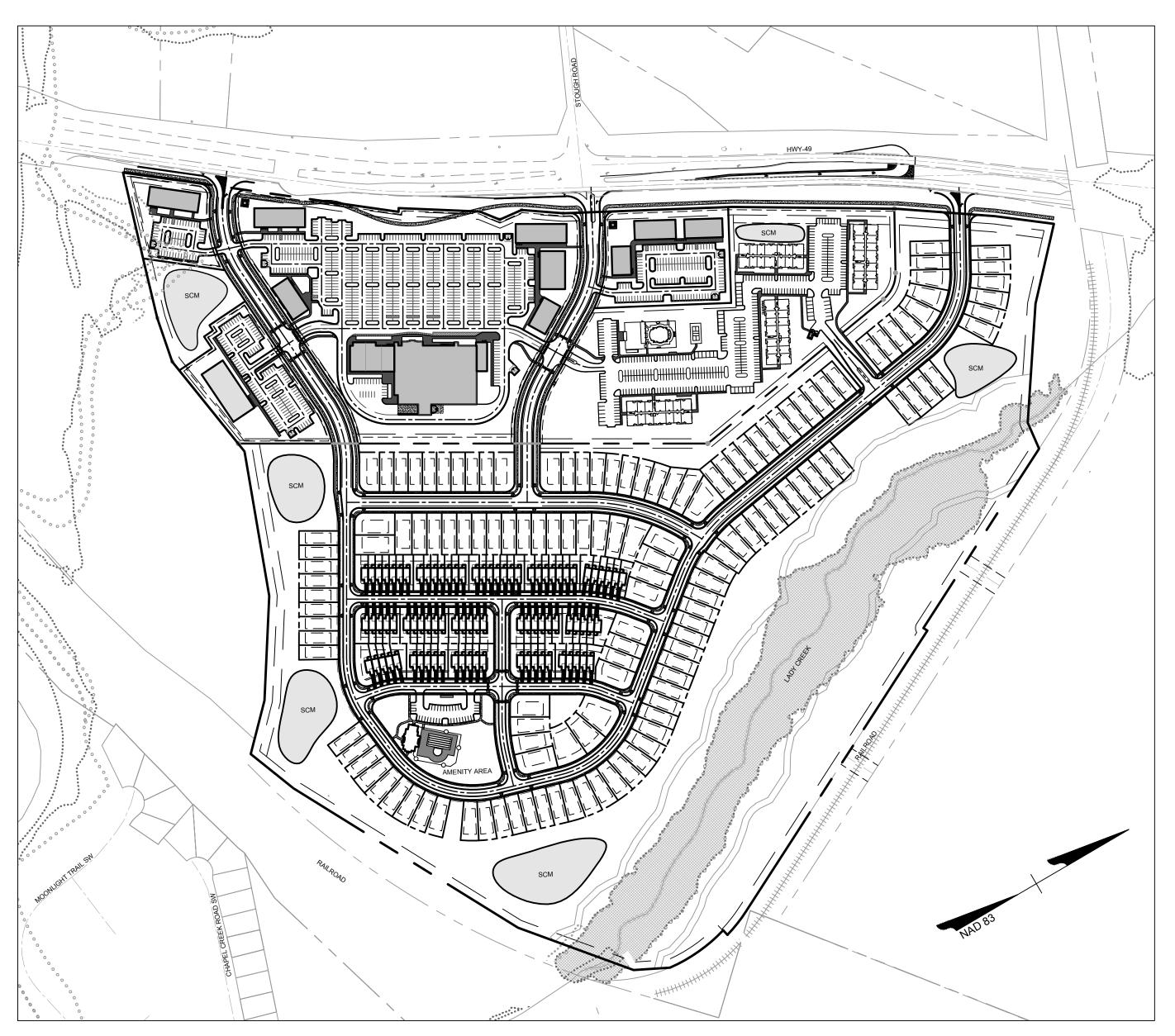


MORRISON RIDGE

REZONING PLAN

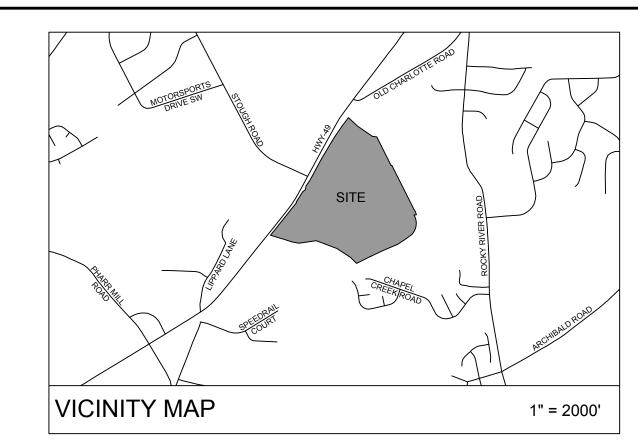
CONCORD, NORTH CAROLINA



VICINITY MAP SCALE: 1" = 250'

PULTE HOMES

11121 CARMEL COMMONS BLVD #405A CHARLOTTE, NORTH CAROLINA 28226

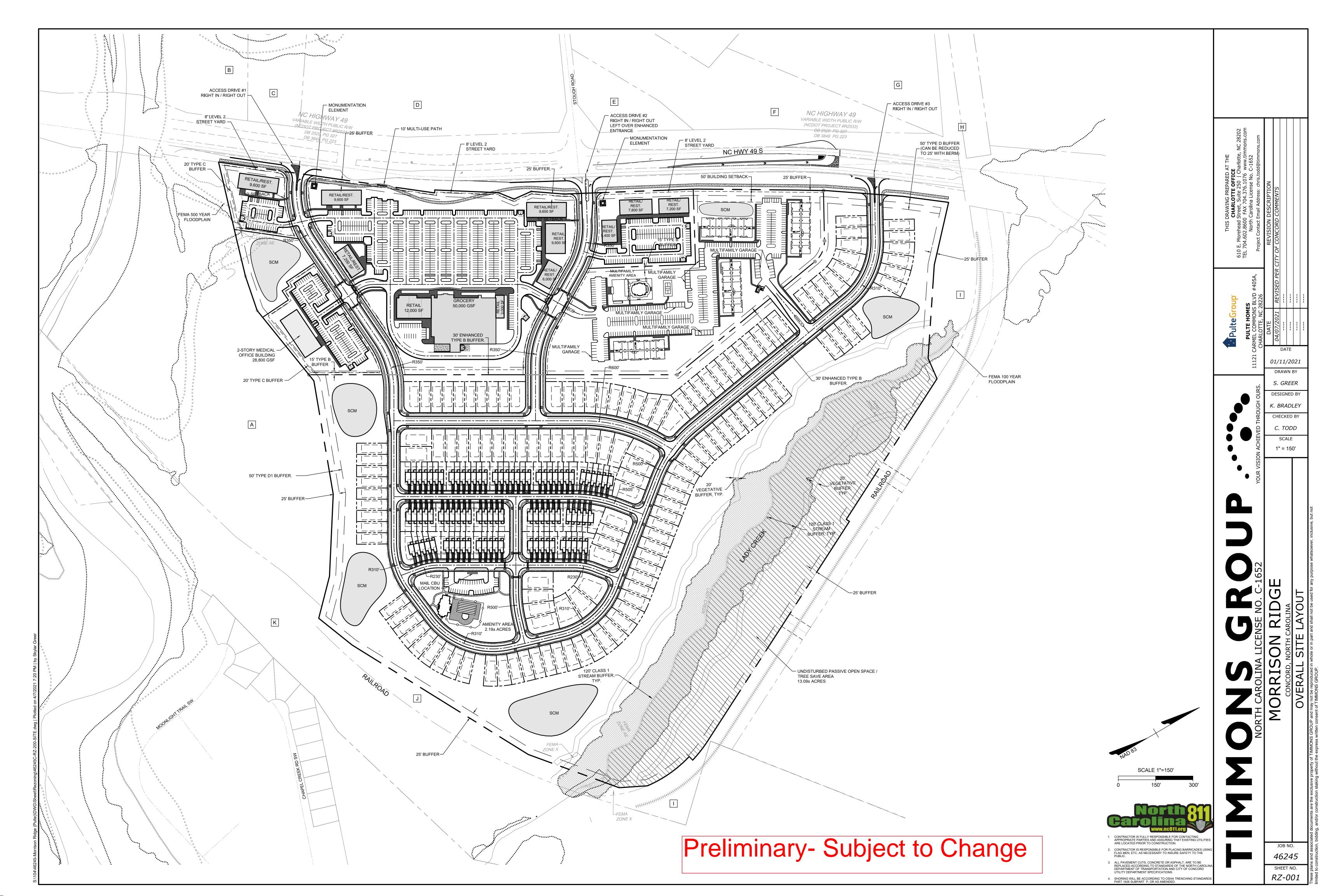


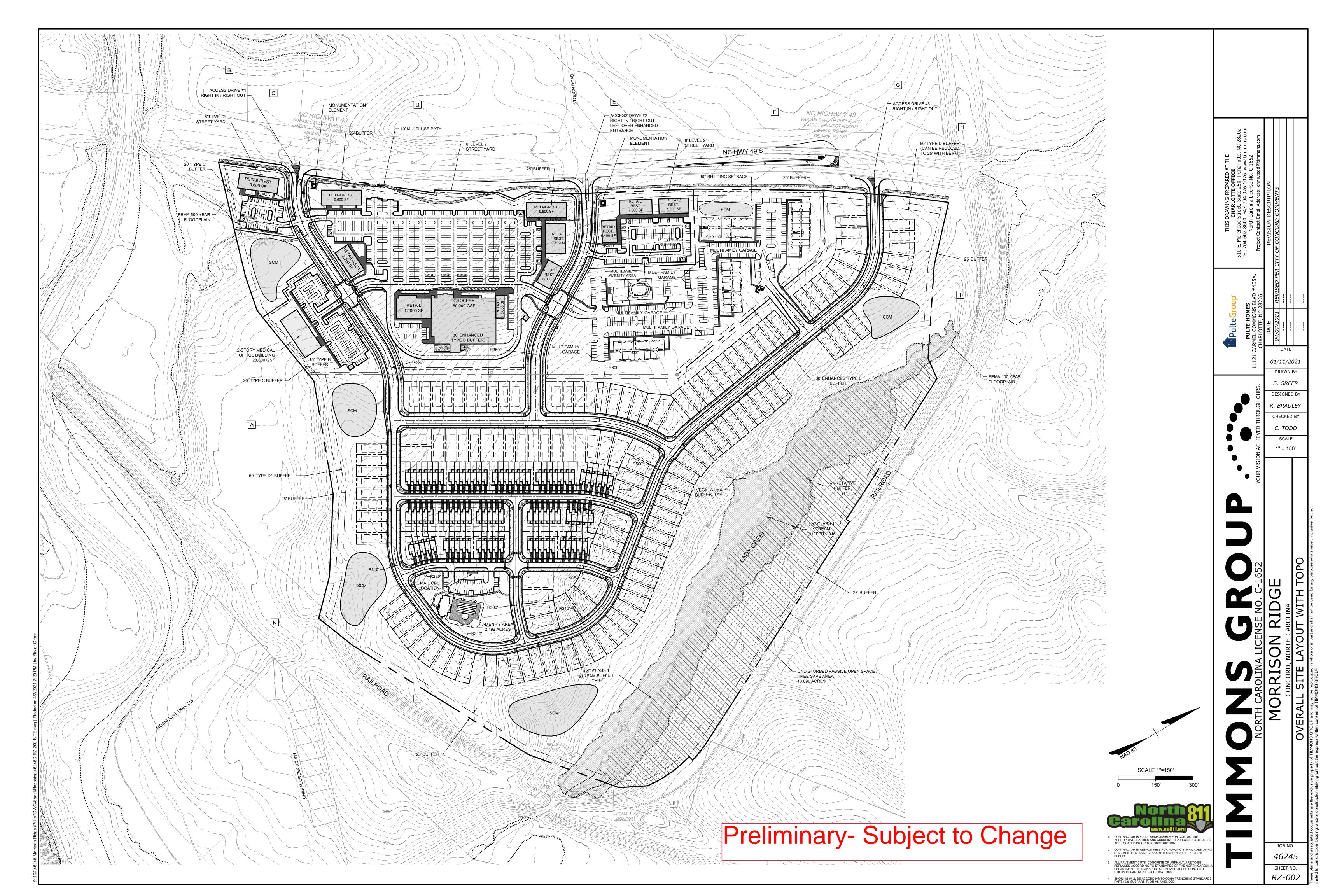
Sheet List Table			
Sheet Number	Sheet Title		
RZ-000	COVER		
RZ-001	OVERALL SITE LAYOUT		
RZ-002	OVERALL SITE LAYOUT WITH TOPO		
RZ-003	SITE DETAILS AND NOTES		
RZ-004	SITE DETAILS AND NOTES		
RZ-005	SITE DETAILS AND NOTES		
RZ-006	COMMON OPEN SPACE PLAN		
RZ-007	OVERALL LANDSCAPE PLAN		

RZ-000

Preliminary- Subject to Change

MONUMENT FOUND







SITE SUMMARY:

MORRISON RIDGE LP - A DE LP C/O ASTON PROPERTIES INC 610 E MOREHEAD ST STE 100

CHARLOTTE, NC 28202 APPLICANT:

11121 CARMEL COMMONS BLVD #405A, CHARLOTTE, NC 28226 TAX PARCEL #S: 55281424450000 **EXISTING ZONING:** C-2-CU

PROPOSED ZONING: TOTAL SITE ACREAGE: 113 66+ ACRES COMMERICAL 25.42± ACRES MULTIFAMILY RESIDENTIAL 77.22± ACRES

OPEN SPACE CALCULATIONS:

SEE SHEET RZ-006 FOR OPEN SPACE CALCULATIONS

IMPERVIOUS CALCULATIONS:

WITHIN MULTIFAMILY SITE: 5 54 ACRES WITHIN PROPOSED RIGHT-OF-WAY: 12.71 ACRES WITHIN TOWNHOME LOTS: WITHIN SINGLE FAMILY LOTS: 8.31 ACRES

TREE SAVE:

TREE SAVE AREA PROVIDED: 13.09± ACRES

CONNECTIVITY RATIO:

CONNECTIVITY RATIO REQUIRED: CONNECTIVITY RATIO PROVIDED:

RESIDENTIAL SITE SUMMARY

RESIDENTIAL LOTS PROVIDED:

146 SINGLE FAMILY DETACHED LOTS 85 TOWNHOME LOTS

DENSITY PROVIDED: 240 LOTS / 77.22 AC = 3.11 DU/AC

SINGLE FAMILY: FRONT SETBACK*: CORNER SETBACK*: REAR SETBACK*:

20' (24' FRONT GARAGE SETBACK) *UNCOVERED, UNENCLOSED DECKS, TERRACES, STOOPS OR PORCHES MAY

ENCROACH INTO A REQUIRED BUILDING SETBACK, BUT IN NO CASE CLOSER THAN FIVE (5) FEET TO ANY PROPERTY LINE.

FRONT SETBACK* 20' (24' FRONT GARAGE SETBACK) CORNER SETBACK* REAR SETBACK*: SIDE SETBACK*: NOT REQUIRED 16' MINIMUM BUILDING SEPARATION

*UNCOVERED, UNENCLOSED DECKS, TERRACES, STOOPS OR PORCHES MAY ENCROACH INTO A REQUIRED BUILDING SETBACK, BUT IN NO CASE CLOSER THAN FIVE (5) FEET TO ANY PROPERTY LINE.

MINIMUM LOT SIZE* SF ATTACHED: SF DETACHED:

—20' REAR SETBACK

RIGHT-OF-WAY

45' X 112' (5,400± SF)

TYPICAL LOT SIZE* SF ATTACHED:

22' X 110' (2,310± SF) *LENGTH OF LOTS MAY MODIFIED DURING CONSTRUCTION DOCUMENT PROCESS TO ACCOMODATE ENGINEERING REQUIREMENTS

GENERAL PROVISIONS:

SITE LOCATION. THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY MI HOMES ("PETITIONER") TO ACCOMMODATE THE DEVELOPMENT OF A MIXED USE DEVELOPMENT ON APPROXIMATELY 113.66± ACRE SITE LOCATED ALONG NC HWY 49 (THE "SITE").

b. ZONING DISTRICTS/ORDINANCE. DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN AS WELL AS THE APPLICABLE PROVISIONS OF THE CITY OF CONCORD ZONING ORDINANCE (THE "ORDINANCE"), UNLESS THE REZONING PLAN ESTABLISHES LESS STRINGENT STANDARDS THEN THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE PUD (PLANNED UNIT DEVELOPMENT) ZONING CLASSIFICATION.

2. ACCESS AND TRANSPORTATION:

a. ACCESS TO THE SITE WILL BE FROM NC HWY 49 IN THE MANNER GENERALLY DEPICTED ON THE REZONING PLAN

b. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINT IS SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE DEVELOPMENT AND CONSTRUCTION PLANS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY NCDOT IN ACCORDANCE WITH APPLICABLE

c. OFF-SITE ROAD IMPROVEMENTS WILL BE PER RECOMMENDATIONS/REQUIREMENTS OF THE TRAFFIC IMPACT STUDY PREPARED BY TIMMONS GROUP AND APPROVED BY NCDOT / CITY OF CONCORD. d. THE NEW INTERNAL ROADS WILL BE PUBLIC STREETS AND WILL BE BUILT TO THE STREET STANDARDS

e. THE ALIGNMENT OF THE INTERNAL VEHICULAR CIRCULATION AND DRIVEWAYS MAY BE MODIFIED BY THE PETITIONER TO ACCOMMODATE CHANGES IN TRAFFIC PATTERNS, PARKING LAYOUTS AND ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE TOWN IN ACCORDANCE WITH PUBLISHED STANDARDS. f. STREETS SHOULD BE DESIGNED TO LEVEL TERRAIN STANDARDS UNLESS ROLLING TERRAIN

STANDARDS ARE APPROVED BY THE CITY OF CONCORD.

g. UTILITY SERVICES, ADA RAMPS, AND CATCH BASINS / TRANSITIONS ARE NOT ALLOWED IN DRIVEWAYS. h. TRUNCATED DOMES AT ACCESSIBLE RAMPS SHALL BE RED.

3. ARCHITECTURAL STANDARDS:

a. ARCHITECTURAL STANDARDS INCLUDED ON THIS REZONING PLAN SHALL SUPERSEDE ANY ARCHITECTURAL STANDARDS LISTED IN THE CITY OF CONCORD UNIFIED DEVELOPMENT ORDINANCE. b. EAVES, SOFFITS AND ROOF OVERHANGS MAY EXTEND INTO SIDE SETBACKS, IN ACCORDANCE WITH THE CDO (NO MORE THAN 2 FEET).

4. STREETSCAPE, BUFFERS, LANDSCAPING, AND AMENITY AREA:

a. STREET TREES WILL BE INSTALLED ALONG THE NEW INTERIOR PUBLIC STREETS.

b. SIDEWALK SHALL BE 5' MINIMUM.

c. RESIDENTIAL AMENITY AREA MAY INCLUDE POOL, CABANA, CHILDRENS PLAY AREA AND OTHER MENITIZED FEATURES. THE SPECIFIC LAYOUT OF FEATURES MAY BE ALTERED DURING THE CONSTRUCTION DOCUMENT\PERMITTING PHASE.

d. ENTRANCE MONUMENTATION MAY BE PLACED WITHIN THE SETBACKS/BUFFERS BUT NOT THE

a. THE LOCATION, SIZE AND TYPE OF STORM WATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.

b. ALL UTILITIES WITHIN THE SITE WILL BE PLACED UNDERGROUND.

c. ALL EXISTING STRUCTURES, SEPTIC SYSTEMS AND/OR WELLS SHALL BE FIELD LOCATED PRIOR TO DESIGN. ANY WELLS AND/OR SEPTIC SYSTEMS DISCOVERED DURING THE SITE DEVELOPMENT PROCESS SHALL BE ABANDONED IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA LAWS AND RULES.

AMENDMENTS TO THE REZONING PLAN:

a. FUTURE AMENDMENTS TO THE REZONING PLAN (WHICH INCLUDES THESE DEVELOPMENT STANDARDS) MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE APPLICABLE DEVELOPMENT AREA PORTION OF THE SITE AFFECTED BY SUCH AMENDMENT IN ACCORDANCE WITH THE PROVISIONS OF THE

7. BINDING EFFECT OF THE REZONING APPLICATION:

a. IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST OR ASSIGNS.

COMMERCIAL AREA - GENERAL PROVISIONS

1. VEHICULAR CIRCULATION SHALL BE ALLOWED BETWEEN COMMERCIAL BUILDINGS AND HWY 49.

2.COMMERCIAL AREAS MAY BE DEVELOPED WITH ANY USES PERMITTED IN THE C-2 ZONING DISTRICT.

3.COMMERCIAL AREA B MAY DEVELOPED WITH ANY OF THE FOLLOWING USES: MEDICAL OFFICE BUILDING, SENIOR HOUSING, OR ASSISTED LIVING.

4.COMMERCIAL STRUCTURES MAY BE TWO STORIES. RESIDENTIAL UNITS MAY BE LOCATED ON SECOND FLOOR OF COMMERCIAL BUILDINGS AND WILL NOT BE COUNTED AS INCREASED DENSITY ON SITE. NO FIRST FLOOR RESIDENTIAL MAY BE LOCATED WITHIN THE COMMERCIAL AREAS OF THE SITE.

5.ALL PARKING LOT LIGHTING SHALL BE DESIGNED SUCH THAT NO MORE THAN ONE-HALF FOOT-CANDLE OF ILLUMINATION SHALL OCCUR 10 FEET OUTSIDE THE PERIMETER OF THE COMMERCIAL PROPERTY AREA, EXCEPT ALONG THE PUBLIC RIGHT OF WAY AND AS NEEDED AT ACCESS POINTS IN ORDER TO FACILITATE SAFE MOVEMENT. PARKING LOT LIGHTING SHALL NOT EXCEED 40 FEET IN HEIGHT AND WILL BE DESIGNED WITH NO SIGNIFICANT LIGHT ABOVE HORIZONTAL AND ANY PEDESTRIAN SCALE LIGHTING WILL EMIT LIGHT SUCH THAT THE LIGHT DISSIPATES AT THE ROOFLINES OF THE BUILDINGS. PERIMETER LIGHTING SHALL BE CONTROLLED OR DIRECTED TO REDUCE GLARE PERCEPTIBLE TO PERSONS OPERATING MOTOR VEHICLES IN THE PUBLIC RIGHT OF WAY.

6.DEVIATIONS TO APPROVED REZONING PLAN MAY BE PERMITTED IN ACCORDANCE WITH CDO SECTION

COMMERCIAL AREA ARCHITECTURAL CONTROLS

THE PORTIONS OF THE BUILDINGS IN THE PROJECT VISIBLE TO THE PUBLIC WILL BE COMPOSED OF A COMBINATION OF HIGH QUALITY MATERIALS SUCH AS BRICK, NATURAL STONE, CAST STONE, INTEGRALLY COLORED CONCRETE MASONRY UNITS, EIFS, ARCHITECTURAL METALS AND CANOPIES, AS SHOWN ON THE ATTACHED ELEVATIONS. AREAS OF THE BUILDINGS THAT ARE NOT VISIBLE TO THE PUBLIC MAY BE COMPOSED OF OTHER MATERIALS THAT ARE COLOR COORDINATED.

FOR PURPOSES OF THESE DEVELOPMENT STANDARDS THE TERM "VISIBLE TO THE PUBLIC" SHALL BE DEFINED AS PUBLIC RIGHTS OF WAY, THE MAIN ENTRY DRIVES, THE MAIN PARKING LOTS AND THE SIDEWALKS, AND SHALL NOT INCLUDE REAR SERVICE DRIVES OR OTHER AREAS NOT INTENDED FOR PUBLIC TRAFFIC.

THE DESIGN OF ALL BUILDINGS WITHIN THE PROJECT WILL BE COORDINATED WITH REGARD TO BUILDING CHARACTER, ARCHITECTURAL THEME, BUILDING MATERIALS AND SIGNAGE SO AS TO PRESENT A COMPLEMENTARY PALETTE OF DESIGN. A RENDERING IS ATTACHED TO REPRESENT SOME OF THE INTENDED PALETTE COMPONENTS (SEE EXHIBIT A). THE PROJECT WILL INCLUDE COURTYARD/PLAZA AREA(S) WITH FEATURES SUCH AS PEDESTRIAN SCALE LIGHTING, BENCHES, AND OTHER AMENITIES TO ENHANCE THE SHOPPING EXPERIENCE (SEE EXHIBIT B). THE RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY TO EXPRESS THE CHARACTER AND THEME OF THE PROJECT BUT ARE NOT INTENDED TO REPRESENT FINAL ARCHITECTURAL DESIGN. THE PETITIONER WILL ESTABLISH THROUGH COVENANTS, LEASE CONDITIONS OR OTHER ENFORCEABLE MEANS. A PROCESS FOR THE REVIEW AND APPROVAL OF THE PLACEMENT, DESIGN AND COMPOSITION OF ALL BUILDINGS CONSTRUCTED IN THE PROJECT SO AS TO RESULT IN A UNIFIED APPEAL AND QUALITY OF THE CENTER. FINAL DECISIONS AS TO ARCHITECTURAL COMPATIBILITY SHALL BE SUBJECT TO THE ZONING ADMINISTRATOR'S APPROVAL.

DUMPSTERS IN THE COMMERCIAL PORTION OF THE SITE SHALL ADHERE TO CDO STANDARDS FOR ARCHITECTURAL DESIGN.

GENERAL NOTES:

- 1. LOCATION OF ACTIVE AND PASSIVE OPEN SPACE AREAS MAY BE ADJUSTED IN CONSTRUCTION
- 2. ALL CORNER LOTS WILL TAKE ACCESS FROM THE LOWER CLASSIFICATION STREET, IF BOTH STREETS ARE SAME CLASSIFICATION THEN ACCESS MAY BE FROM EITHER.
- 3. IF ANY DEVELOPMENT/GRADING IS PROPOSED IN THE FLOODPLAIN; AN ENGINEER MUST CERTIFY A ZERO NET CUT/FILL AND THAT NO RISE WILL BE EXPERIENCED IN THE BASE FLOOD ELEVATION OUTSIDE OF THE PARCEL BOUNDARIES. ANY GRADING OR DEVELOPMENT IN THE FLOODWAY WOULD INITIATE A FULL ENGINEERING EVALUATION MODELING THE DEVELOPMENT CHANGES TO THE CHANNEL CROSS-SECTIONS AND FLOODPLAIN. NEW CONSTRUCTION IS NOT ALLOWED IN THE 100 YEAR FLOODPLAIN, ANY STRUCTURE PROPOSED IN A CURRENT FLOODPLAIN WOULD REQUIRE A LOMC TO BE APPROVED BY FEMA PRIOR TO PLATTING.
- 4. THIS DEVELOPMENT WILL BE REQUIRED TO OBTAIN A COMPREHENSIVE SIGN PACKAGE OR ADHERE TO CDO SIGN REQUIREMENTS. STAFF PLANS TO ADD THIS AS A CONDITION TO THE REZONING. PLEASE LET US KNOW IF YOU HAVE ANY OBJECTIONS OR AGREE.
- 5. APPROVAL OF THIS REZONING PLAN BY TRANSPORTATION DOES NOT CONSTITUTE APPROVAL OF ANY ELEMENT WHICH DOES NOT MEET TECHNICAL STANDARDS. APPROVAL OF SUBSEQUENT PLANS

WILL BE CONTINGENT ON THE SITE DESIGN MEETING TECHNICAL STANDARDS.

6. PRIVATE TRASH COLLECTION WILL BE PROVIDED FOR COMMERCIAL, TOWNHOME, AND MULTIFAMILY

WASTEWATER NOTES

- 1. IF AN AMENITY CENTER IS PROPOSED FOR DEVELOPMENT, A GREASE INTERCEPTOR (1,000 GALLONS MINIMUM) WILL BE REQUIRED IF THERE IS FOOD PREPARATION AND/OR COOKING INCLUDED IN THE
- 2. THE MAXIMUM GRADES FOR ALL PROPOSED SEWER LINE EASEMENT AREAS OWNED BY THE CITY (INCLUDING ACCESSES) ARE TO BE 8% ALONG THE CENTERLINE AND 2% SIDE SLOPES.
- 3. COPIES OF ALL CORRESPONDING SEWER EASEMENT AGREEMENTS AND PLAT MAPS WILL BE SUBMITTED TO THE CITY PLANNING DEPARTMENT FOR REVIEW AND COMMENTS; FINAL VERSIONS OF THESE DOCUMENTS WILL BE RECORDED AT THE REGISTER OF DEEDS AND THEN SENT TO THE WATER RESOURCES DEPARTMENT FOR FILING.
- 4. IF APPLICABLE, ALL PROPOSED GREASE LINES AND SANITARY SEWER LINES WITHIN THE BUILDING FOOTPRINT AND EXTENDING OUT TO THE GREASE INTERCEPTOR SHALL BE SHOWN WITHIN THE PLUMBING SECTION OF THE ARCHITECTURAL DRAWINGS. IN ADDITION, ALL GREASE INTERCEPTOR CALCULATIONS FOR THE SIZING OF THE INTERCEPTOR SHALL BE SHOWN WITHIN THESE ARCHITECTURAL DRAWINGS; THIS INCLUDES ANY REFERENCING TOT HE LATEST VERSION OF THE PLUMBING CODE.
- 5. PROJECT PHASING MAY BE REQUIRED DUE TO LIMITATIONS OF AVAILABLE SEWER CAPACITY ALLOCATION. FLOW ACCEPTANCE IS NOT GUARANTEED UNTIL PROJECT PERMITTING

- 1. MOVEMENT OF ANY EXISTING UTILITIES SHALL BE AT OWNER / DEVELOPER COST.
- 2. OFFSITE SEWER EXTENSION ALONG WITH EASEMENTS WILL BE REQUIRED BY DEVELOPER.
- 3. EASEMENT DEDICATION FOR FUTURE SEWER EXTENSIONS WILL BE REQUIRED. THE LOCATION OF EASEMENTS SHALL BE DETERMINED AT PRELIMINARY PLAT STAGE.

1. DETENTION WILL BE PROVIDED IN ACCORDANCE WITH THE CITY OF CONCORD DEVELOPMENT ORDINANCE REQUIREMENTS (1-YR AND 10-YR). IN ADDITION, THE PETITIONER ELECTS TO PROVIDE STORMWATER DETENTION UP TO THE 100-YR STORM EVENT IN AN EFFORT TO BETTER PROTECT DOWNSTREAM PROPERTIES.

2. MAXIMUM CLASS I UNDISTURBED STREAM BUFFER SHOWN ALONG LADY CREEK. UNDISTURBED STREAM BUFFER MAY BE REDUCED DURING DESIGN PHASE IN ACCORDANCE WITH THE CDO IF SURVEYED AVERAGE PERCENT SLOPE OF LAND ADJACENT TO STREAM ALLOWS.

TOWNHOME STANDARDS:

1. BUILDING SEPARATION REQUIREMENTS OF SIXTEEN (16) FEET SHALL BE MAINTAINED FOR ALL GROUPS OF TOWNHOUSE UNITS.

2. NO GROUP OF TOWNHOUSE UNITS MAY BE LONGER THAN 165 FEET

3. FENCES AND/OR WALLS ON THE SITE SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO ALLOW UNOBSTRUCTED ACCESS TO ALL UTILITY METERS AND EASEMENTS.

4. FRONT LOADED TOWNHOUSES ARE PROHIBITED ON STREETS THAT ARE OR WOULD BE CLASSIFIED AS COLLECTORS OR ON ANY OTHER HIGHER CLASSIFICATION STREET

5. DRIVEWAYS SHALL BE SEPARATED FROM INTERIOR PROPERTY LINES BY A MINIMUM OF ONE (1) FOOT AND SHALL MAINTAIN A MINIMUM SPACING OF TEN (10) FEET TO ANOTHER DRIVEWAY, AS MEASURED

6. MINIMUM FRONT SETBACKS SHALL BE TWENTY (20) FEET PROVIDED THAT THE BUILDING WALL OF THE GARAGE ENTRY IS LOCATED AT LEAST TWENTY FOUR (24) FEET FROM THE FRONT PROPERTY LINE.

7. CITY OWNED WATER METERS OR SEWER CLEANOUTS SHALL NOT BE INSTALLED WITHIN THE LIMITS OF THE TOWNHOUSE DRIVEWAY.

MULTIFAMILY AREA - GENERAL PROVISIONS

FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT.

1. MAXIMUM BUILDING LENGTH SHALL BE 210'

2. ALL BUILDINGS SHALL CONSIST OF GREATER THAN 50% MASONRY CONSTRUCTION

3. NO OFF-STREET PARKING SPACES SHALL BE LOCATED CLOSER THAN 10 FEET TO ANY RESIDENTIAL BUILDING WALL.

MAXIMUM BUILDING HEIGHT

COMMERCIAL RESIDENTIAL: MULTIFAMILY:

Preliminary- Subject to Change



. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE UTILITY DEPARTMENT SPECIFICATIONS. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDA PART 1926 SUBPART P, OR AS AMENDED. 46245

SHEET NO.

RZ-003

01/11/2021

DESIGNED BY

K. BRADLEY

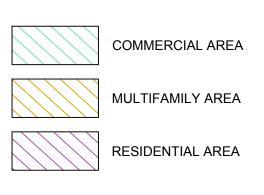
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AS SHOWN

CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIE ARE LOCATED PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USIFFLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE

PATIO, TYP 7' SETBACK ~7' SETBACK 110'± LOT DEPTH 125'± LOT DEPTH FRONT PROPOSED BACK OF CURB -GARAGE -SETBACK 20' FRONT | 24' GARAGE | PROPOSED BACK OF CURB

TYPICAL LOT DIAGRAM TYPICAL LOT DIAGRAM 1" = 30' 1" = 30'





Preliminary- Subject to Change

FIRE NOTES:

- 1. VERTICAL CONSTRUCTION MAY NOT BEGIN UNTIL THE HYDRANT AND ACCESS ARE INSTALLED AND
- 2. STREET SIGNS WITH STREET NAMES AND LOT NUMBERS / ADDRESSES ARE REQUIRED DURING CONSTRUCTION OF HOUSES.
- 3. TIMING OF INSTALLATION. WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO THE DURING THE TIME OF CONSTRUCTION. (NCFC 501.4)
- 4. FIRE APPARATUS ACCESS ROADS SHALL BE A MINIMUM OF 20' MEASURED AT THE EDGE OF PAVEMENT. THE PAVEMENT WIDTH SHALL BE INCREASED TO 26' IF A BUILDINGS HEIGHT (MEASURED

AS AVERAGE HEIGHT TO GUTTER LINE FROM AVERAGE FINISHED GRADE) IS 30' OR GREATER FOR

- 5. THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE MORE THAN ONE FIRE APPARATUS ACCESS ROAD BASED ON THE POTENTIAL FOR IMPAIRMENT OF A SINGLE ROAD BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATIC CONDITIONS OR OTHER FACTORS THAT COULD LIMIT ACCESS. (NCFC 503.1.2)
- 6. FIRE HYDRANTS SHALL BE PROVIDED WITH A TRAVEL DISTANCE AS DETERMINED BY APPENDIX C TABLE C105.1 (NCFC TABLE C105.1) NOTE: DISTANCE VARIES BASED UPON NEEDED FIRE FLOW.

CUL-DE-SAC (NCFC TABLE C105.1), OTHERWISE HYDRANT SPACING NOT TO EXCEED 500 FEET.

- 7. FIRE HYDRANTS SHALL BE PLACED NO GREATER THAN 200 FEET FROM THE END OF EACH
- 8. WATER MAINS AND HYDRANTS INSTALLED SHALL BE DESIGNED FOR FLOW AND DURATION AS REQUIRED IN APPENDIX B TABLE 105.1. (NCFC)
- 9. FIRE FLOW SHALL BE HIGHER OF: -1000 GPM @ 20 PSI FOR 1 HOUR PLUS THE SPRINKER DEMAND FOR THE HOMES

THAT PARTICULAR ROAD (NCFC 503.2.1).

- -1500 GPM* PLUS SPRINKLER DEMAND FOR HOMES * 1500 GPM BASED ON AMENITY AREA AND PER TABLE B105.1 (NCFC APPENDIX B)
- 10. THE REQUIRED TURNING RADIUS OF THE FIRE APPARATUS ACCESS ROAD SHALL BE 42 FEET. (NCFC
- 11. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE. (NCFC D103.2)
- 12. IF STRUCTURES EXCEED 30FT IN HEIGHT THEN INTERNAL STREETS SHALL BE DESIGNED TO 26FT. IN WIDTH. GENERAL COMMENTS. THIS JURISDICTION ABIDES BY AND ENFORCES THE REQUIREMENTS OF NFPA 241 FOR CONSTRUCTION PROJECTS. A DOCUMENT WE REFER TO AS AN NFPA 241 LETTER IS REQUIRED VERIFYING THAT ALL PARTIES INVOLVED IN THIS PROJECT KNOW OF AND AGREE, TO ABIDE BY THE PROVISION REQUIRING WATER, HYDRANTS, AND ACCESS ROADS BE IN OPERATION PRIOR TO VERTICAL COMBUSTIBLE CONSTRUCTION.
- 13. WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION EXCEPT WHEN APPROVED ALTERNATIVE METHODS OF PROTECTION ARE PROVIDED. (NCFC 501.4)
- 14. NEEDED FIRE FLOW FOR THE STRUCTURE MUST BE PROVIDED AND MAINTAINED.
- 15. THE SITE ADDRESS SHALL BE POSTED IN A TEMPORARY FORM AND UPON COMPLETION IN A PERMANENT FORM IN A VISIBLE LOCATION IN 6-INCH CHARACTERS IN A REFLECTIVE MATERIAL & CONTRASTING COLOR. (NCFC 505.1)
- 16. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY OR BUILDING WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY. (NCFC 503.1.1)
- 17. ACCESS ROADS TO BUILDING ARE REQUIRED TO BE 20 FEET IN WIDTH FOR BUILDINGS UP TO 30 FEET HIGH AND 26 FEET FOR THOSE OVER 30 FEET. (NCFC 503.2.1)
- 18. FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED CLEARANCE OF 13 FOOT 6 INCHES. (NCFC
- 19. THE REQUIRED TURNING RADIUS OF FIRE ACCESS ROADS SHALL BE DETERMINED BY THE FIRE OFFICIAL. (NCFC 503.2.4)
- 20. DEAD END ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. (NCFC 503.2.5)
- FIRE LANES REQUIRED FOR ACCESS TO THE STRUCTURE ARE REQUIRED TO BE STRIPPED AND MARKED BY SIGNS PROHIBITING PARKING IN AREAS WHERE ACCESS MAY BE BLOCKED. BLOCKAGE TO ACCESS AFTER CONSTRUCTION MAY RESULT IN FUTURE REQUIREMENTS FOR STRIPPING AND SIGNAGE. CONTACT CONCORD FIRE PREVENTION DIVISION PRIOR TO LANE STRIPPING FOR DETAILS. ALL LANES SHALL BE MARKED IN ACCORDANCE WITH DEPARTMENT SPECIFICATIONS AND APPROVED PRIOR TO INSTALLATION. (NCFC 03.3)
- 22. WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 400 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING. ON-SITE FIRE HYDRANT AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL. (NCFC 507.5.1)
- 23. FIRE HYDRANTS PUBLIC HYDRANTS SHALL BE PAINTED YELLOW AND PRIVATE HYDRANTS SHALL BE PAINTED RED. ALL NEW HYDRANTS SHALL BE EQUIPPED WITH A 5" STORZ FITTING.
- 24. FIRE DEPARTMENT CONNECTIONS (FDC) SHALL BE PROVIDED FOR SPRINKLER SYSTEMS AND BE REMOTE FROM THE BUILDING WITH SIGNAGE. (NCFC 912.1). THE LOCATION MAY NOT OBSTRUCT ACCESS TO THE BUILDINGS FOR OTHER FIRE APPARATUS DUE HOSE CONNECTION (NCFC 912.2) SEE SECTION 912 FOR DETAILS ON FDC'S.
- 25. FIRE HYDRANTS ARE REQUIRED WITHIN 200 FEET OF THE LOCATION OF THE FDC.
- 26. STRUCTURES UNDER CONSTRUCTION ARE REQUIRED TO HAVE TEMPORARY FIRE EXTINGUISHERS ON SITE DURING CONSTRUCTION. 16. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE. (NCFC D103.2)
- 27. BUILDINGS EXCEEDING THREE STORIES OR 30 FEET IN HEIGHT SHALL HAVE AT LEAST TWO MEANS OF FIRE APPARATUS ACCESS FOR EACH STRUCTURE. (NCFC D105.1 & D105.2)
- 28. BUILDINGS EXCEEDING 62,000 SQFT. WITHOUT SPRINKLERS OR 124,000 SQFT. WITH SPRINKLERS SHALL HAVE TWO ACCESS ROADS PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE PROPERTY OR AREA TO BE SERVED, MEASURED IN A STRAIGHT LINE BETWEEN ACCESSES. (NCFC D104.2 & D104.3)
- 29. MULTIPLE-FAMILY RESIDENTIAL DEVELOPMENTS HAVING MORE THAN 100 DWELLING UNITS SHALL BE EQUIPPED THROUGHOUT WITH TWO SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS. PROJECTS EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS MAY HAVE ONE ENTRANCE UP TO 200 UNITS AND ABOVE 200 MUST HAVE A SECOND REMOTE ENTRANCE (NCFC
- 30. ONE OR TWO-FAMILY RESIDENTIAL DEVELOPMENTS. DEVELOPMENTS WHERE THE NUMBER OF DWELLING UNITS EXCEEDS 30 SHALL BE PROVIDED WITH SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS AND SHALL MEET THE REQUIREMENTS OF D104.3 (NCFC D107.1)
- 31. WHERE TWO ACCESS ROADS ARE REQUIRED, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE PROPERTY OR AREA TO BE SERVED, MEASRE IN A STRAIGHT LINE BETWEEN ACCESSES. (NCFC

NOTE: PLEASE SEE CONCORD FIRE PREVENTION DIVISION'S WEB PAGE FOR DETAILS AND SPECIFICATIONS (HTTP://WWW.CONCORDNC.GOV/DEPARTMENTS/FIRE/ FIRE-PREVENTION-DIVISION/FIRE-PREVENTION-DIVISION-DOWNLOADS). PLEASE UNDERSTAND THAT APPROVAL OF THESE DOCUMENTS IN NO WAY RELIEVES THE OWNER, ARCHITECT, OR ENGINEER FROM RESPONSIBILITY RELATED TO VIOLATIONS OF THE GOVERNING CODES AND REGULATIONS NOT FOUND BY OUR OFFICE OR OTHER REVIEWING AGENCIES. WHEN SUCH VIOLATIONS ARE FOUND THEY MUST BE CORRECTED. • THE OCCUPANCY OF THE BUILDING/UPFIT AREA SHALL NOT BE CONDUCTED PRIOR TO A CERTIFICATE OF COMPLIANCE & OCCUPANCY BEING OBTAINED FROM THE CABARRUS COUNTY BUILDING

INSPECTION DEPARTMENT.

RESIDENTIAL PARKING CALCULATIONS:

REQUIRED PARKING: SINGLE FAMILY DETACHED: 2 SPACES X 150 UNITS = 300 SPACES 1.5 SPACES X 90 UNITS = 135 SPACES

TOTAL REQUIRED PARKING: 435 SPACES

PROVIDED PARKING: SINGLE FAMILY DETACHED: 2 CAR GARAGE + 2 PARKING IN DRIVEWAY = 4 SPACES X 150 UNITS = 600 SPACES **TOWNHOMES** 1 CAR GARAGE + 1 PARKING IN DRIVEWAY =

2 SPACES X 90 UNITS = 180 SPACES

TOTAL PROVIDED PARKING:

NOTE: ADDITIONAL PARKING MAY BE PROVIDED AT AMENITY AREA. NUMBER OF SPACES TO BE DETERMINED DURING CONSTRUCTION DOCUMENT PHASE

COMMERCIAL SITE:

TOTAL MAXIMUM COMMERCIAL SQUARE FOOTAGE: 149,200 SF

COMMERCIAL AREA A 1,500 SF RESTAURANT*

8,100 SF RETAIL

COMMERCIAL AREA B 28,800 SF MEDICAL OFFICE BUILDING

COMMERCIAL AREA C 50.000 SF GROCERY 30,000 SF RESTAURANT* 10,400 SF RETAIL

COMMERCIAL AREA D 5,400 SF RESTAURANT* 15,000 SF RETAIL

*BUILDING SQUARE FOOTAGE DESIGNATED AS RESTAURANT USE MAY BE CONVERTED TO

COMMERCIAL PARKING CALCULATIONS

PARKING REQUIREMENTS GROCERY / FOOD STORE MIN 1 SPACE PER 300 SF MAX 1 SPACE PER 200SF RETAIL MIN 1 SPACE PER 250 SF MAX 1 SPACE PER 150 SF RESTAURANT MIN 1 SPACE PER 3 SEATS

MAX 1 SPACE PER 150 SF PARKING REQUIRED COMMERCIAL AREA A

1.500 SF RESTAURANT 19 MIN SPACES** 30 MAX SPACES 8,100 SF RETAIL 30 MIN SPACES 49 MIN SPACES 84 MAX SPACES

COMMERCIAL AREA B 28,800 SF MEDICAL OFFICE BUILDING

29 MIN SPACES COMMERCIAL AREA C 50,000 SF GROCERY 167 MIN SPACES 250 MAX SPACES 30,000 SF RESTAURANT 400 MIN SPACES** 600 MAX SPACES 70 MAX SPACES 10.400 SF RETAIL 42 MIN SPACES

TOTAL 920 MAX SPACES COMMERCIAL AREA D 120 MAX SPACES 5,400 SF RESTAURANT 77 MIN SPACES** 15,000 SF RETAIL **54 MIN SPACES** 96 MAX SPACES 216 MAX SPACES 131 MIN SPACES

**FINAL NUMBER OF SEATS IN RESTAURANTS UNKNOWN. PARKING CALCULATIONS ASSUME 1 SPACE PER 75 SF WILL MEET THE MINIMUM REQUIREMENT. ACTUAL PARKING SHALL BE PROVIDED TO MEET 1 SPACE PER 3 SEAT REQUIREMENT WHILE LEASING RESTAURANT SPACE.

PARKING PROVIDED COMMERCIAL AREA A 53 SPACES COMMERCIAL AREA B COMMERCIAL AREA C 612 SPACES

MULTIFAMILY SITE AND PARKING CALCULATIONS:

140 SPACES

MULTIFAMILY UNITS PROVIDED 224 ONE-BEDROOM UNITS 128 TWO-BEDROOM UNITS 96

COMMERCIAL AREA D

336 SPACES (1.5 SPACES X 224 UNITS) REQUIRED PARKING:

PROVIDED PARKING: 392 SPACES

01/11/2021 S. GREER

DESIGNED BY K. BRADLEY CHECKED BY C. TODD

AS SHOWN

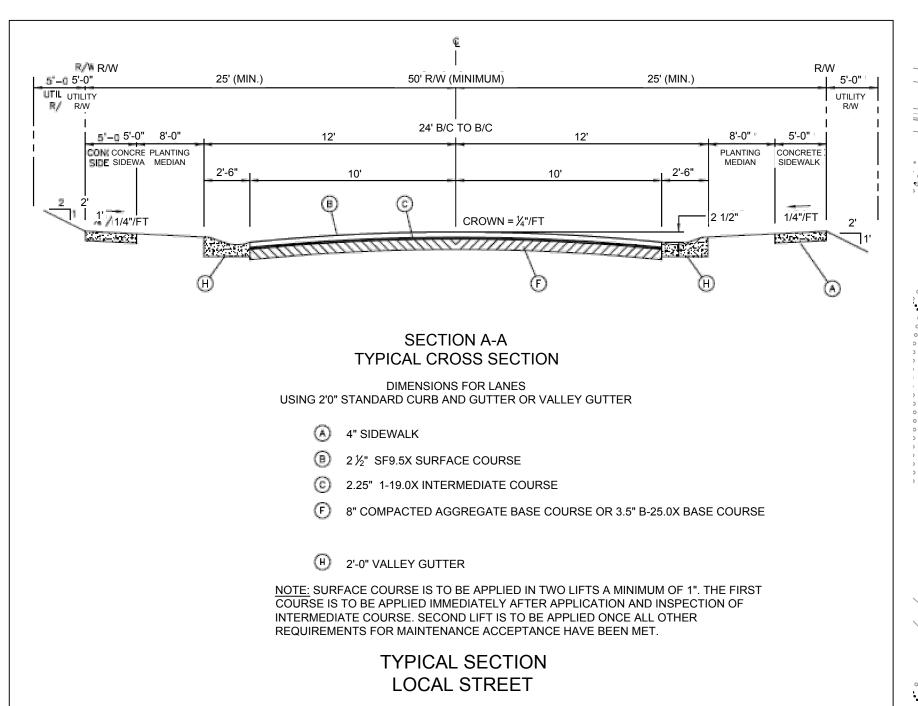
46245 SHEET NO.

CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USIN FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE 3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE

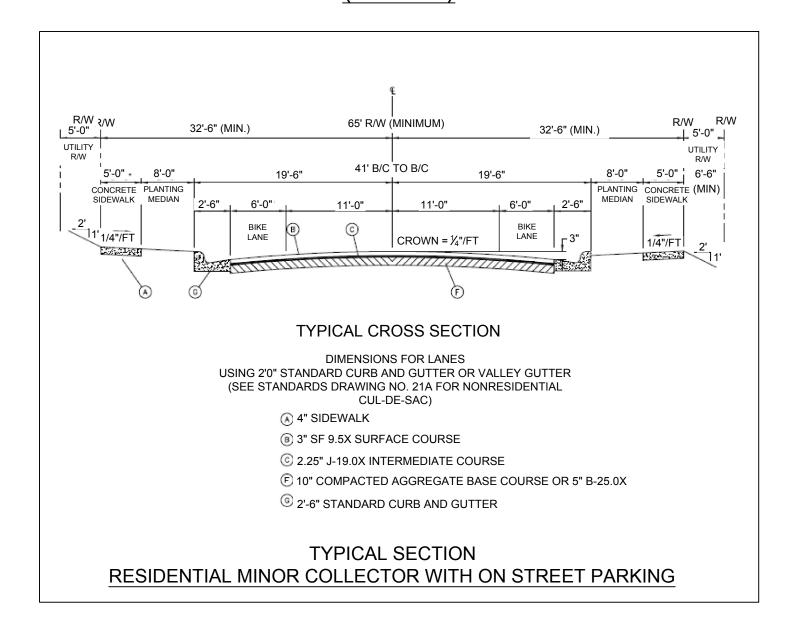
CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIE ARE LOCATED PRIOR TO CONSTRUCTION.

REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLI DEPARTMENT OF TRANSPORTATION AND CITY OF CONCORD UTILITY DEPARTMENT SPECIFICATIONS. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDAL PART 1926 SUBPART P, OR AS AMENDED.

RZ-004



LOCAL RESIDENTIAL STREET (50' R/W)



RESIDENTIAL MINOR COLLECTOR WITH ON STREET PARKING (65' R/W)

Preliminary- Subject to Change

ADJACENT PROPERTY OWNERS						
LOT	PARCEL NUMBER	ZONING	PROPERTY OWNER 1	PROPERTY OWNER 2	MAILING ADDRESS	
Α	55280312750000	I-2	201 CONCORDNC INC		225 DUNCAN MILL RD STE 101 TORONTO, ON M3B	
В	55189307990000	LI	KARAMPOURNIOTIS DIMITRI	KARAMPOURNIOTIS MELODY/WIFE	2110 HIGHWAY 49 SOUTH CONCORD, NC 28027	
С	55189430280000	LI	KARAMPOURNIOTIS DIMITRI	KARAMPOURNIOTIS MELODY/WIFE	2111 HIGHWAY 49 SOUTH CONCORD, NC 28027	
D	55189466830000	LI	THE CHARLOTTE-MECKLENBURG HOSPITAL AUTHORITY	C/O BENNETT THOMPSON	9401 ARROWPOINT BLVD, CHARLOTTE, NC 28273	
Е	55280511690000	I-1	PS NC III LP	C/O PUBLIC STORAGE	701 WESTERN AVE # 26543, GLENDALE, CA 91201	
F	55280536450000	I-1	PS NC III LP	C/O PUBLIC STORAGE	701 WESTERN AVE # 26543, GLENDALE, CA 91201	
G	55280783000000	GI	STONEWALL JACKSON TRAINING SCHOOL		1636 GOLD STAR DR RALEIGH, NC 27607	
Н	55187986520000	GI	BOOTSMEAD LEASECO LLC	ATTN: A WELLFORD TABOR	2820 SELWYN AVE STE 550, CHARLOTTE, NC 28209	
	55187986520000	LI	BOOTSMEAD LEASECO LLC	ATTN: A WELLFORD TABOR	2820 SELWYN AVE STE 550, CHARLOTTE, NC 28209	
J	55281393480000	C2-CU	NC DEPT OF TRANSPORTATION		1546 MAIL SERVICE CENTER RALEIGH, NC 27699	
K	55079531800000	GI AND LDR	NORTH CAROLINA RAILROAD CO	ATTN DANIEL HALLORAN	2809 HIGHWOODS BLVD STE 100, RALEIGH, NC 27604	

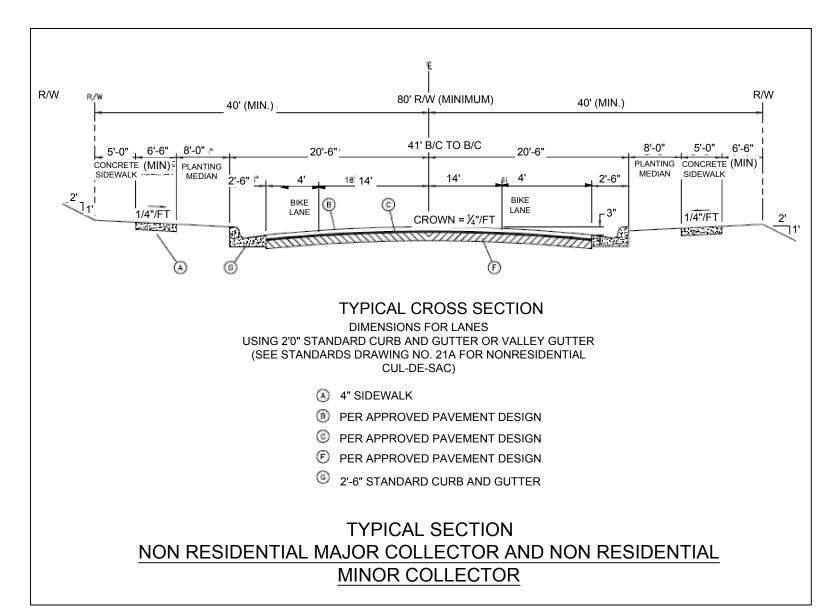
NC-HWY 49

80' NON RESIDENTIAL COLLECTOR

50' LOCAL RESIDENTIAL

65' MINOR RESIDENTIAL COLLECTOR

STREET TYPE MAP N.T.S.



NON RESIDENTIAL MAJOR COLLECTOR AND NON RESIDENTIAL MINOR COLLECTOR (80' R/W)



2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USIN FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC. 3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLIN DEPARTMENT OF TRANSPORTATION AND CITY OF CONCORD UTILITY DEPARTMENT SPECIFICATIONS.

SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDAI PART 1926 SUBPART P, OR AS AMENDED.

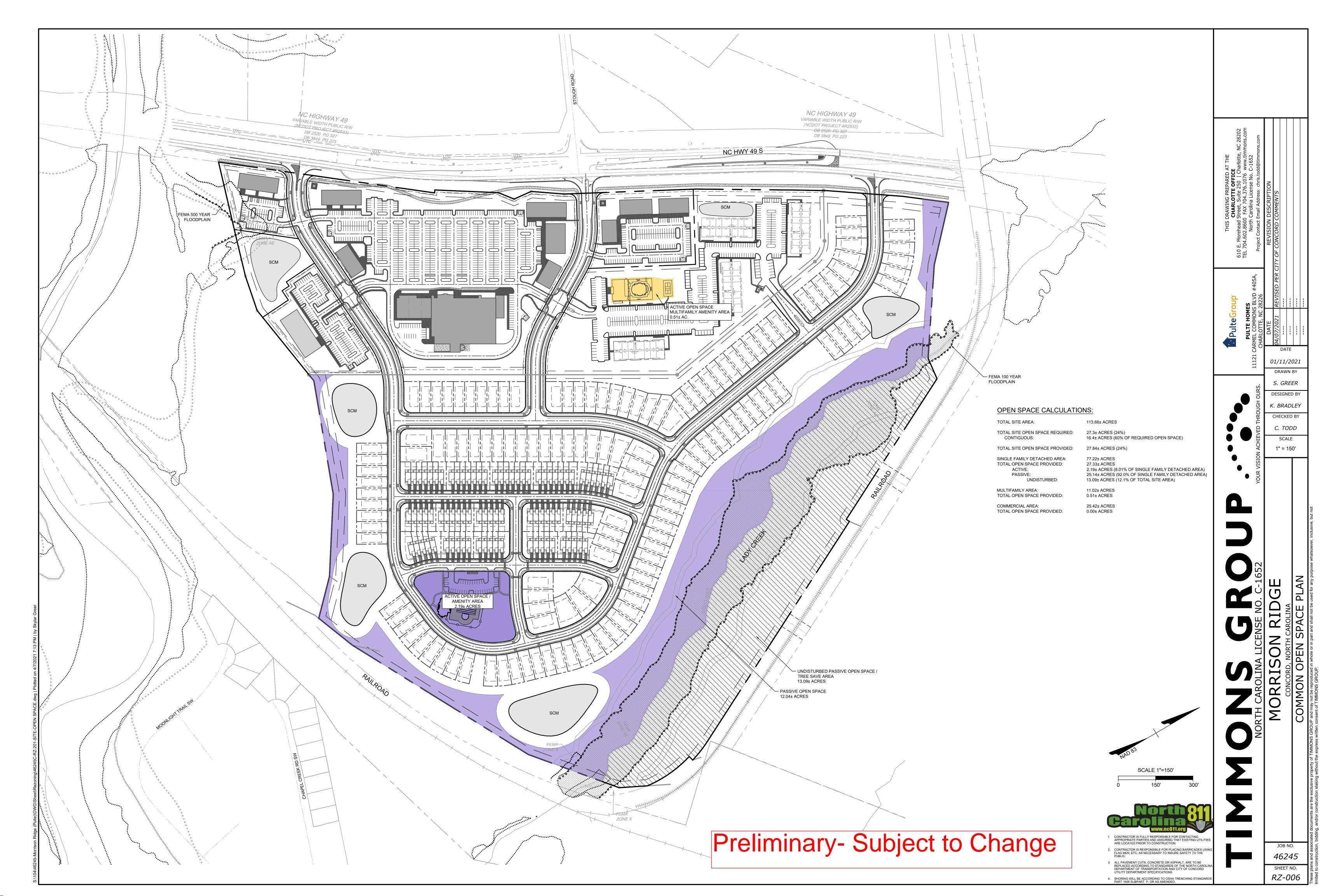
46245

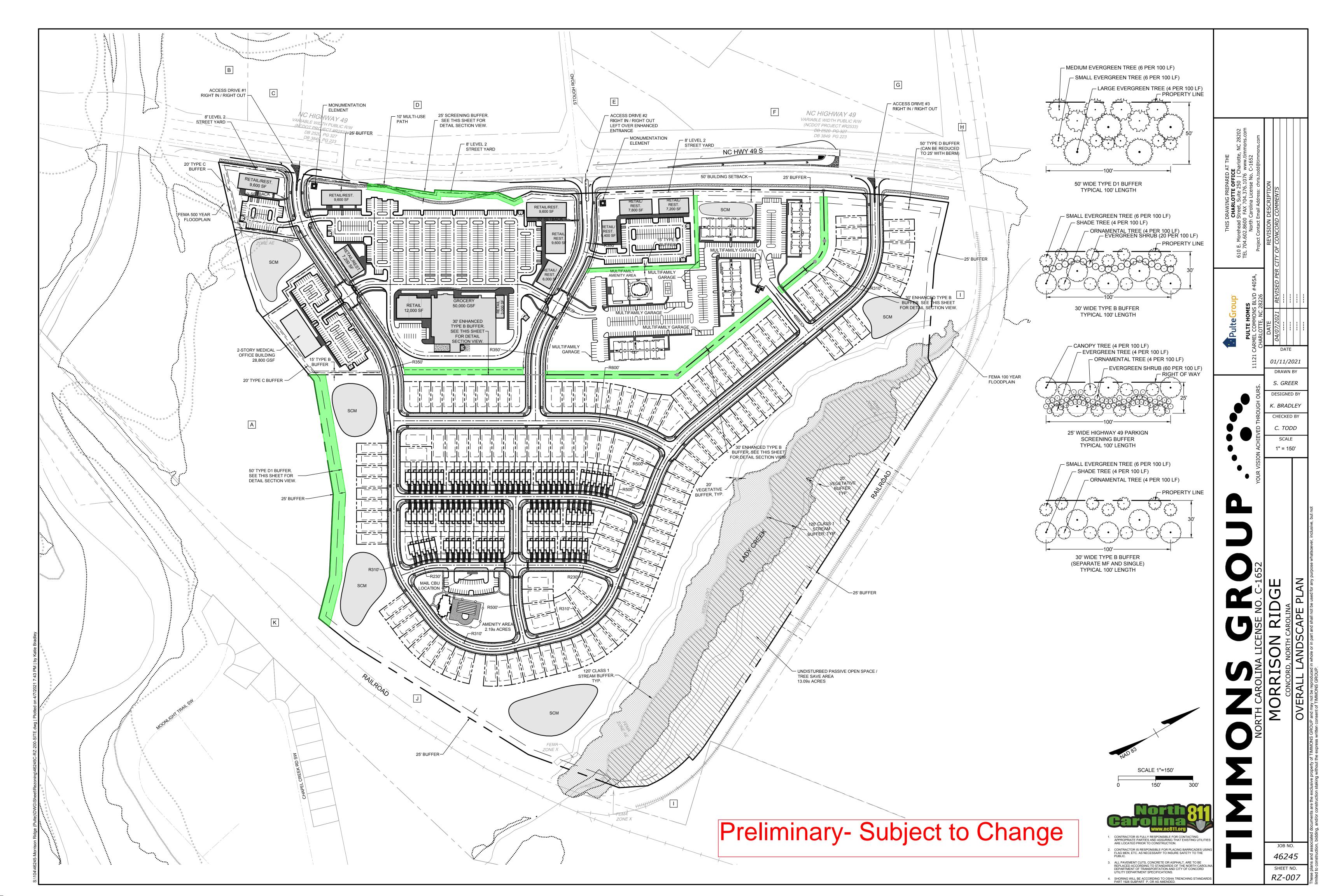
01/11/2021 S. GREER DESIGNED BY K. BRADLEY

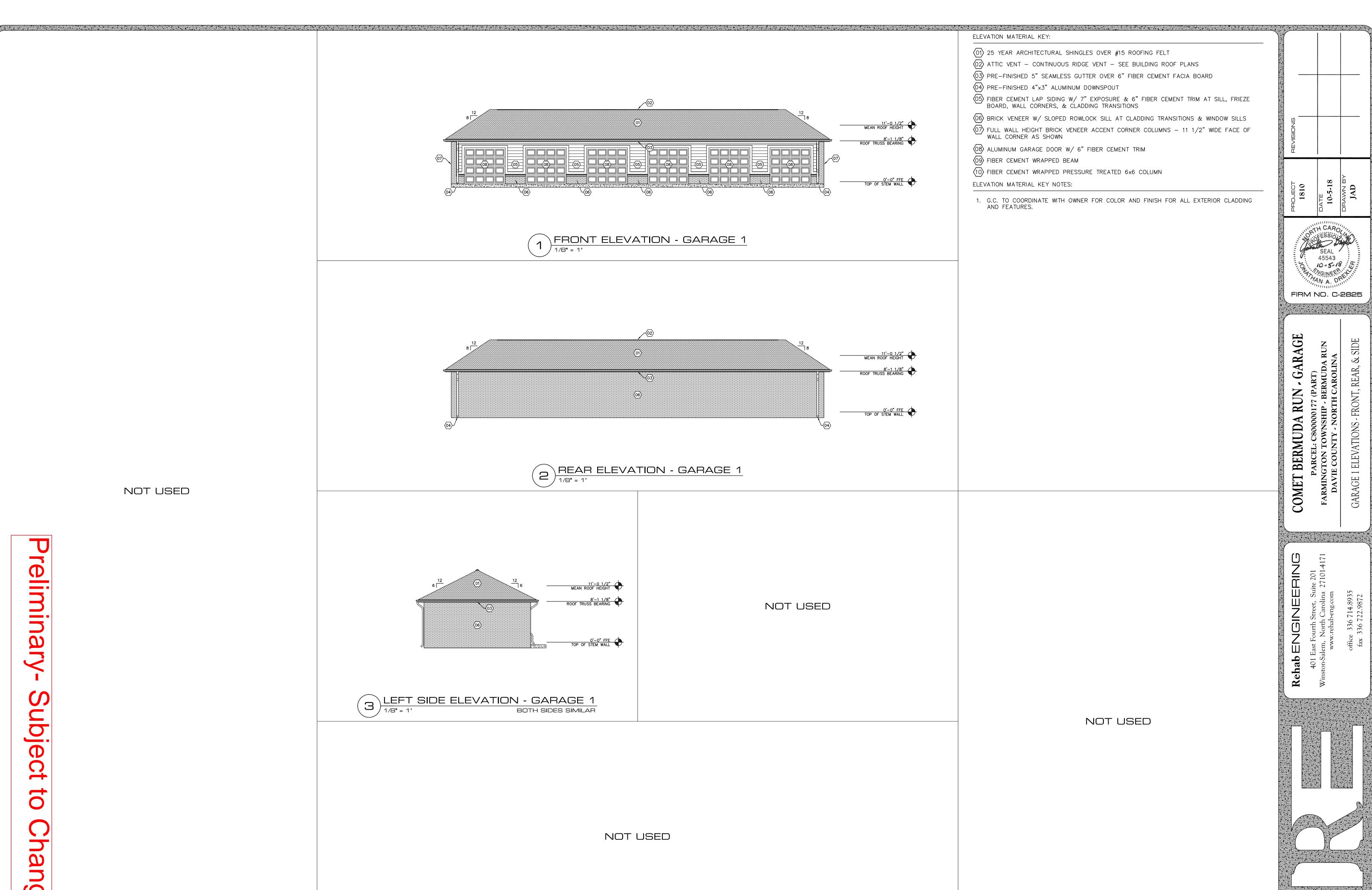
CHECKED BY

AS SHOWN

SHEET NO. *RZ-005*







NOT USED

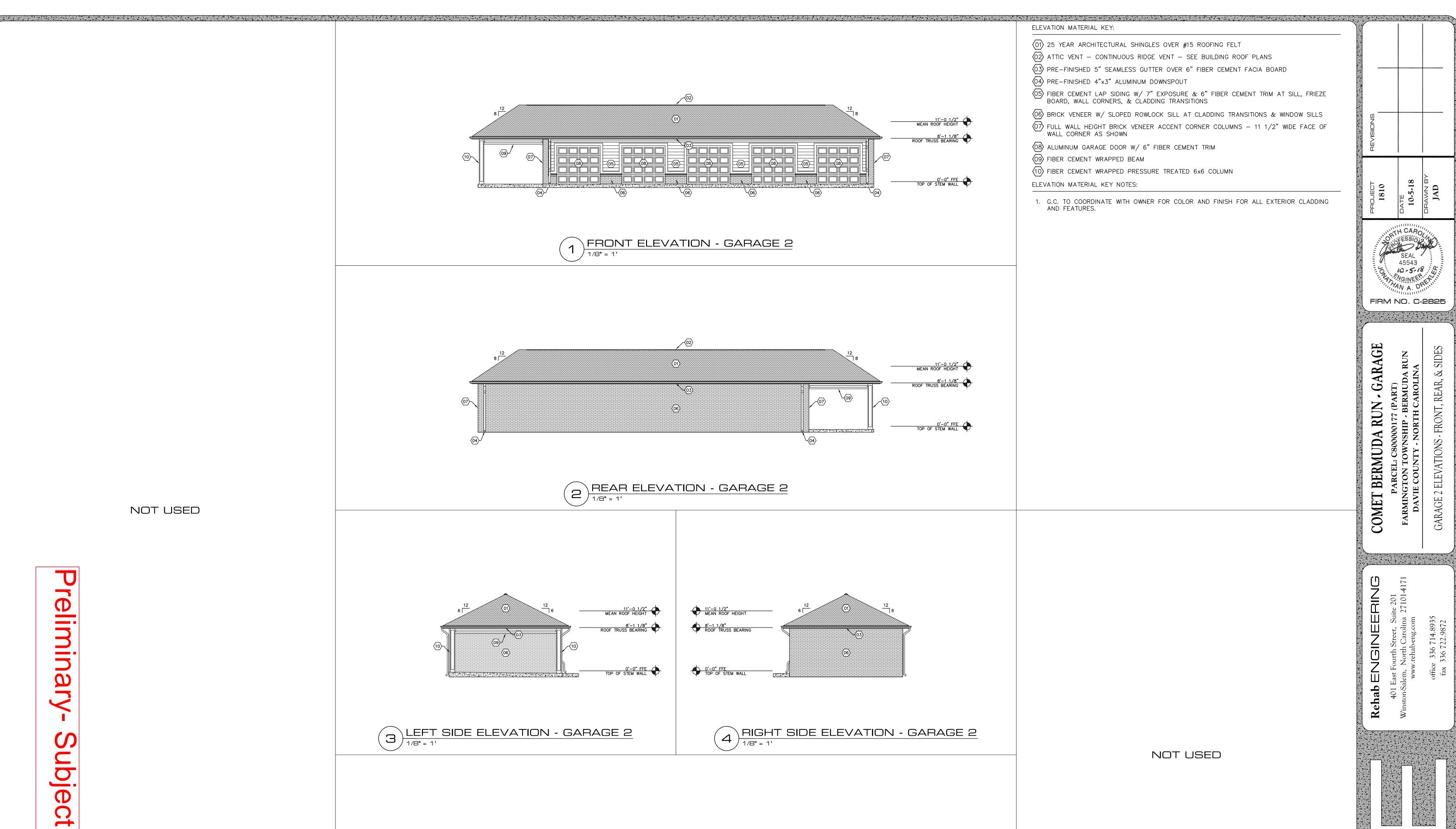
reliminary

Subject

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GARAGE 1 ELEVATIONS - FRONT, REAR, &

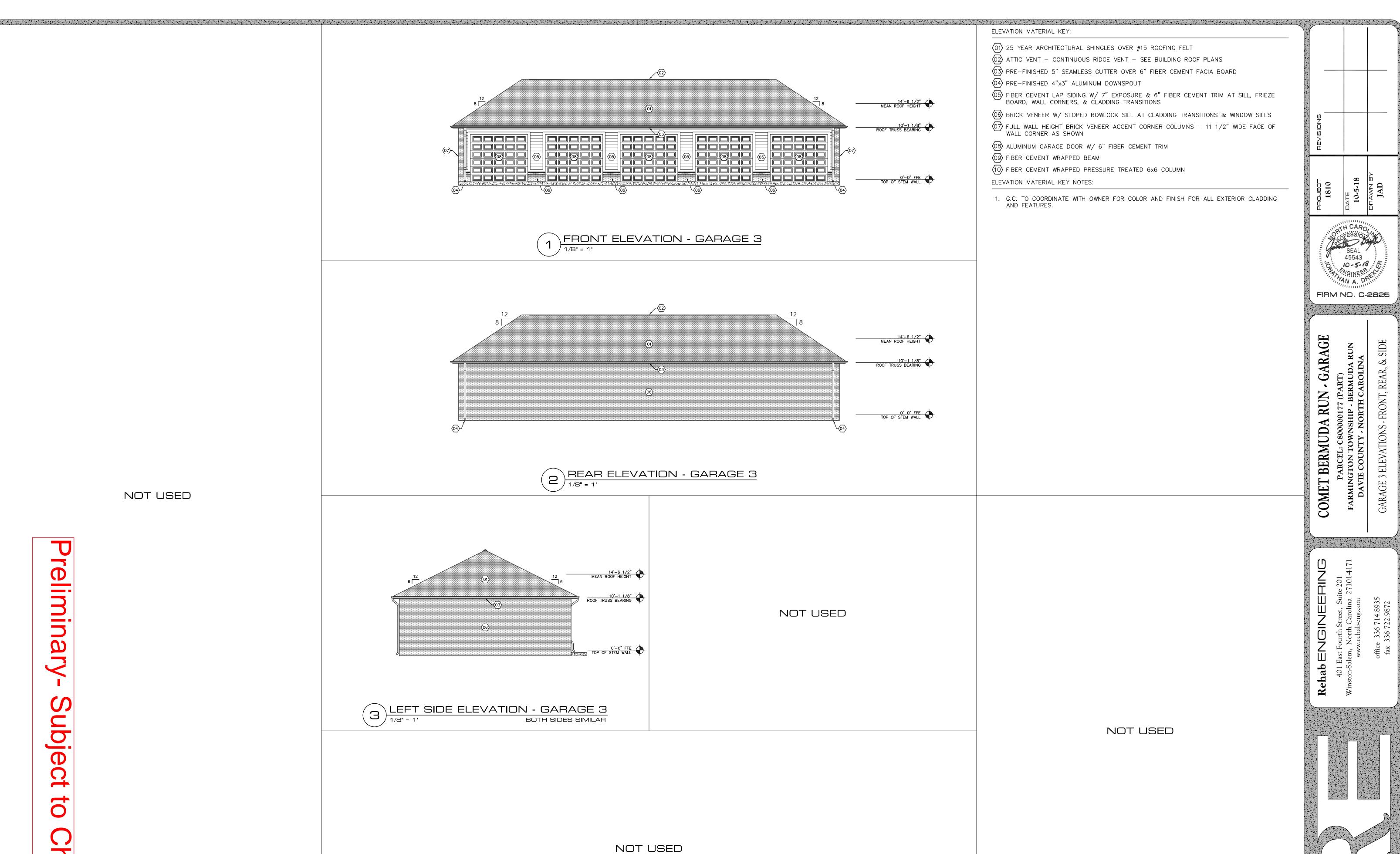


NOT USED

Preliminar Subject to Change

NOT USED

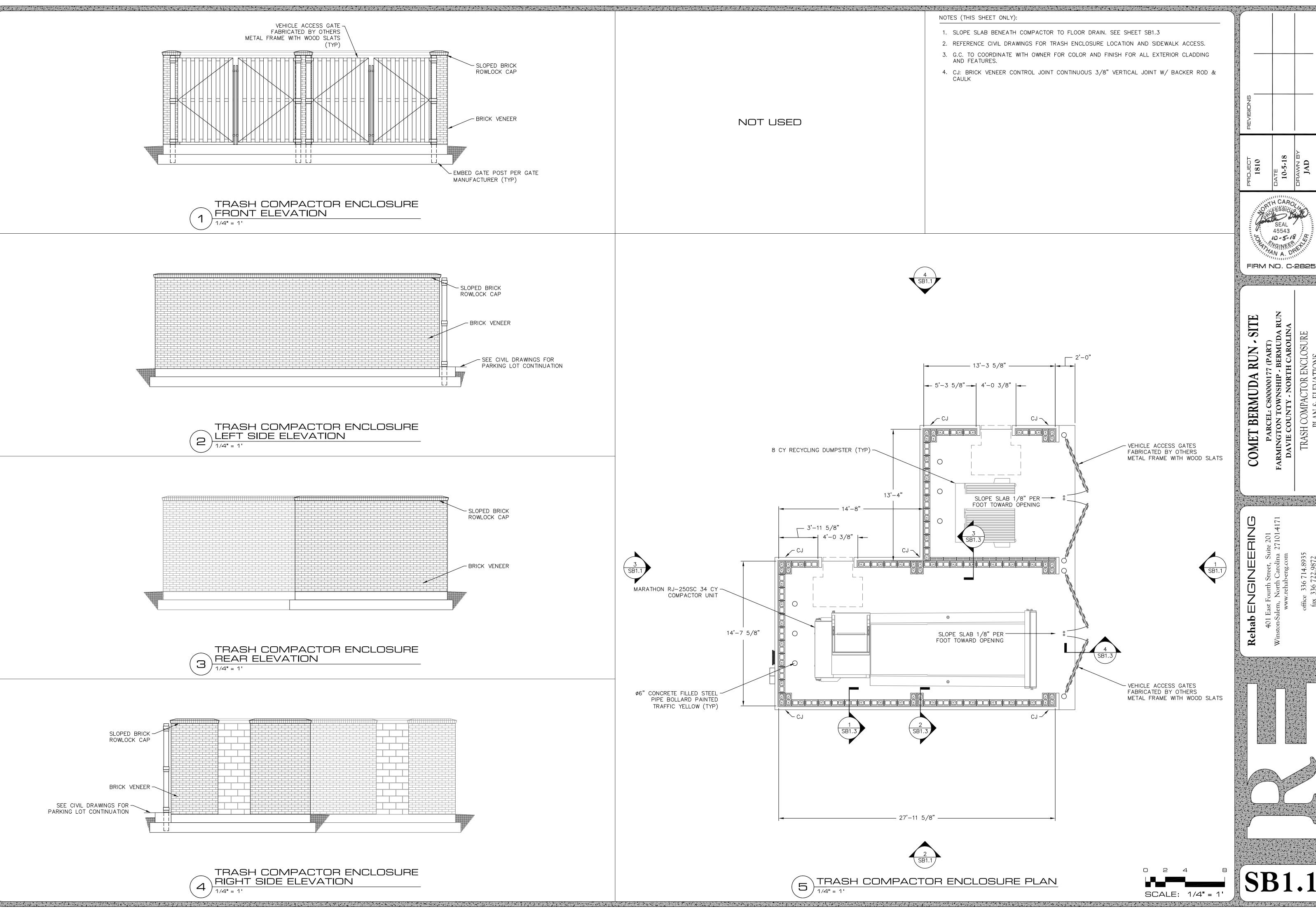
GARAGE 2 ELEVATIONS - FRONT, REAR,



reliminar Subject to Change

NOT USED

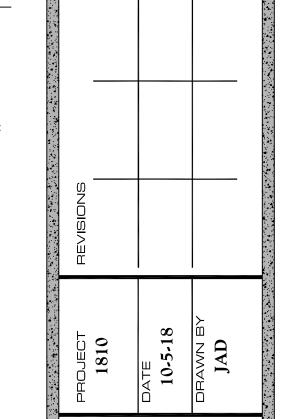
GARAGE 3 ELEVATIONS - FRONT, REAR, &

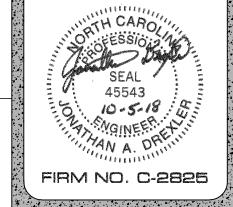




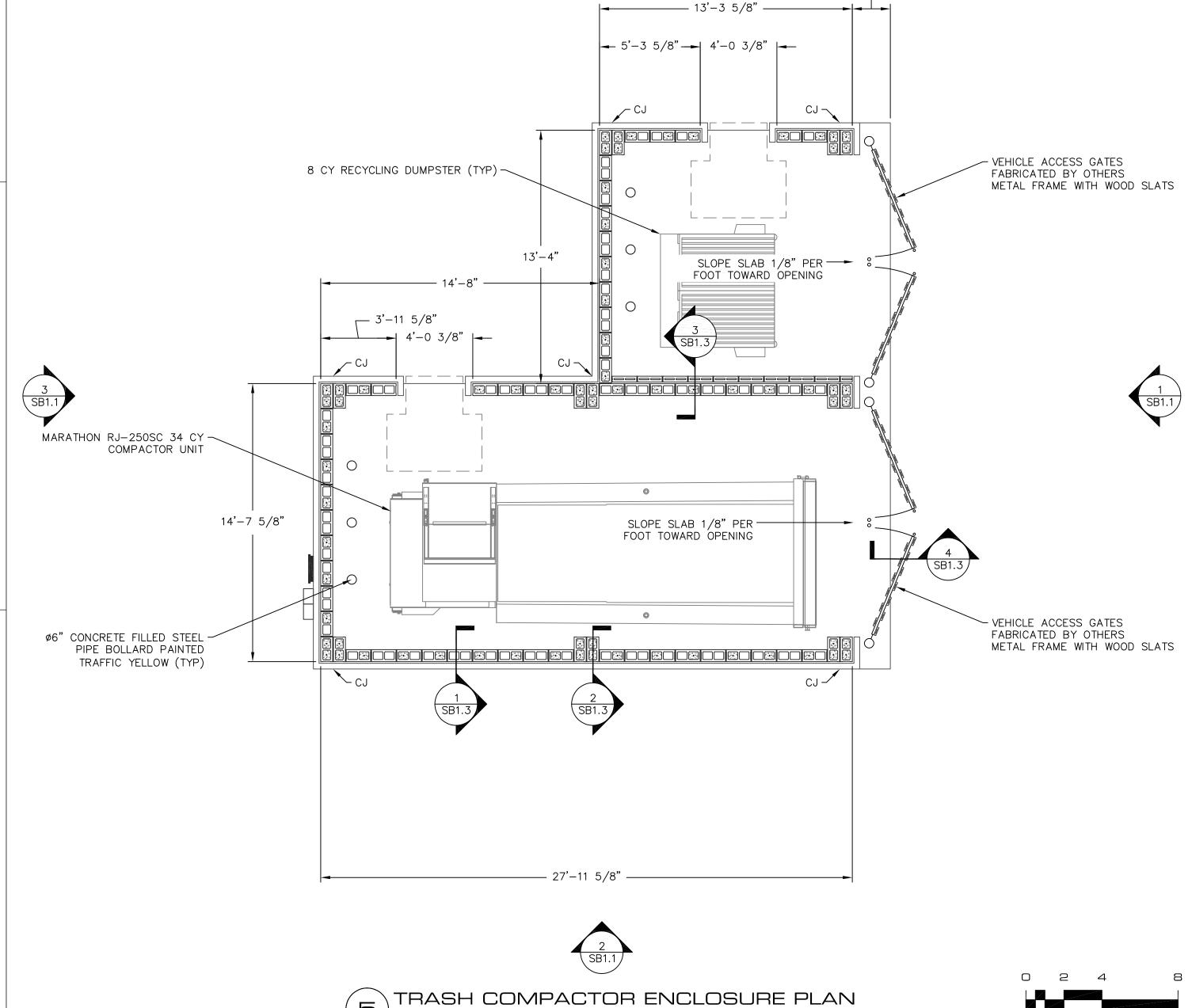
- 1. SLOPE SLAB BENEATH COMPACTOR TO FLOOR DRAIN. SEE SHEET SB1.3
- 2. REFERENCE CIVIL DRAWINGS FOR TRASH ENCLOSURE LOCATION AND SIDEWALK ACCESS.
- 3. G.C. TO COORDINATE WITH OWNER FOR COLOR AND FINISH FOR ALL EXTERIOR CLADDING
- 4. CJ: BRICK VENEER CONTROL JOINT CONTINUOUS 3/8" VERTICAL JOINT W/ BACKER ROD &







COMET BERMUDA



Cards FFT Books First Foots Cards FFT Books First Frashion 0















6° FASCIA (TIP)
4° PREZZ (TIP)
9° TRIM (TIP)
200 FLOOR PLATE
200 MINDOW HT.
200 M

ATTIC VENTILATION: (300 S0. FT. ATTIC SPACE / 1 S0. FT. VENTILATION)
W/ 407-507 REQ. VENTS GREATER THAN OR EQUAL TO 3' ABOVE
ELEVATION "TRIOI"
MAIN ROOF
300 S0. FT. UNDER ROOF ATTIC /
BIOGE VENT 18 S0. N. - (125 S0. FT.)
BIOGE VENT 18 S0. N. - (125 S0. FT.)

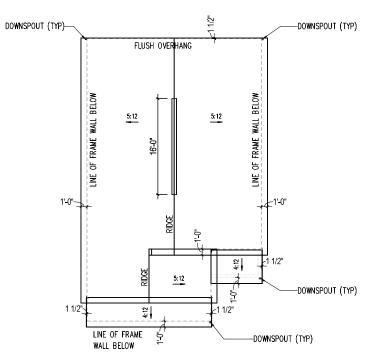
RIDGE VENT 18 SQ. IN. = (.125 SQ. FT.) BOX VENT 50 SQ. IN. = (.3472 SQ. FT.) SOFFIT VENT 9 SQ. IN. = (.0625 SQ. FT.)

3.95 SQ. FT. x 50% = 1.977 SQ. FT. RIDGE, 3.95 SQ. FT. x 50% = 1.977 SQ. FT. SOFFIT

RIDGE WENT OR W/ HIP. BOX VENT

1.977 SQ, FT. = 15.8 FEET OF RIDGE VENT. 1.977 SQ, FT. = 5.7 BOX VENT(S 0.125 SQ, FT. 0.3472 SQ, FT. SQFFT VENT. 1.977 SQ, FT. = 316 EVEL OF SCIENT VENT.

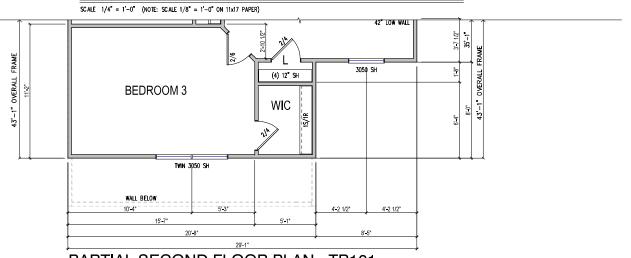
*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



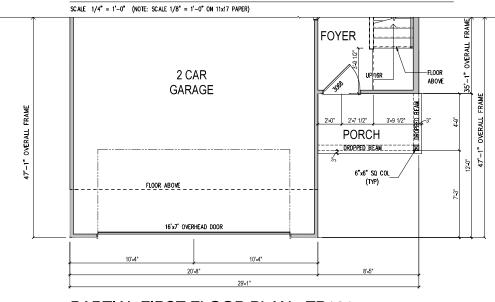
ROOF PLAN - TR101

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

FRONT ELEVATION - TR101



PARTIAL SECOND FLOOR PLAN - TR101



PARTIAL FIRST FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

Southeast Zone

2475 Northwinds Pkwy, Suite 600
Alpharetta, GA. 30009 (770) 381-3450

PulteGroup

ORIOLE
TRADITIONAL ELEVATION - TR101

PRODUCT MANAGER

CURRENT RELEASE
DATE: 02/19/20

REVY DATE/DESCRIPTION

A

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PROJECT TYPE Single Family

SPECIFICATION LEVEL



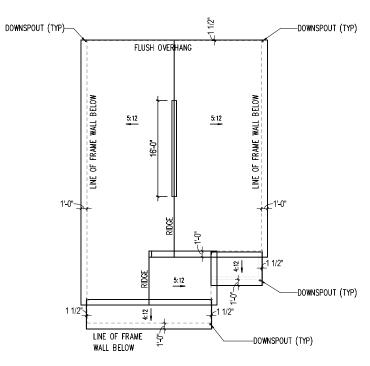
3-TR101-2F.01

6° FASCIA (199)
4° RRIZE (199)
8° TRIM (199)
8° TRIM (199)
8° TRIM (199)
1235
135 BOARD AND BATTEN (199)
135 FASCIA (199)
136 FASCIA (199)
137 FASCIA (199)
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130 FASCIA (199)
130

ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION) W/ 402-508 REC. WATIS GREATE THAN OR EQUAL TO 3' ABOVE ELEVATION "TRIO2" 1186 SQ. FT. UNDER ROOF ATTIC / MAIN ROOF SQ. FT. / 1 SQ. FT. = 3.95 SQ. FT. VENTILATION RIDGE VENT 18 SQ. IN. = (125 SQ. FT.) BOX VENT 50 SQ. IN. = (327 SQ. FT.) SOFT VENT 9 SQ. IN. = (328 SQ. FT.)

1.977 SQ. FT. = 31.6 FEET OF SOFFIT WENT

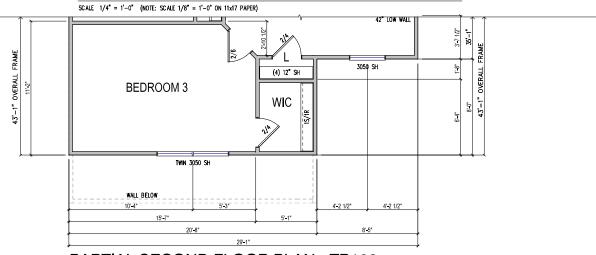
*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



ROOF PLAN - TR102

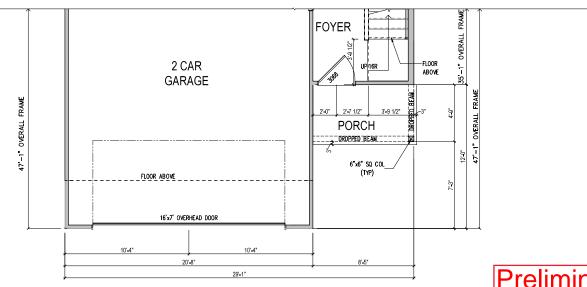
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

FRONT ELEVATION - TR102



PARTIAL SECOND FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

Southeast Zone 2475 Northwinds Pkwy, Suite 600 Alpharetta, GA. 30009 (770) 381-3450

PulteGroup

ORIOLE
TRADITIONAL ELEVATION - TR102

PRODUCT MANAGER

CURRENT RELEASE
DATE: 02/19/20

REV# DATE/DESCRIPTION

A

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A

PROJECT TYPE Single Family

PECIFICATION LEVEL

PLAN NAME Oriole NPC NUMBER 2770.700

> ьет 3-TR102-2F.01

ATTIC VENTILATION: (300 S0, FT. ATTIC SPACE / 1 S0, FT. VENTILATION)

W/ 4005-500 REC. VENTS GREATER THAN OR FOUNAL TO 3' ABOVE

ELEVATION "TRIOI" 1655 S0, FT. UNDER ROOF ATTIC /

GRADE/ PORCH

ROOF 300 S0, FT. / 1 S0, FT. = 5.52 S0, FT. VENTILATION

RIGGE VENT 18 S0, IN. = (125 S0, FT.)

BOX VENT 50 S0, IN. = (3472 S0, FT.)

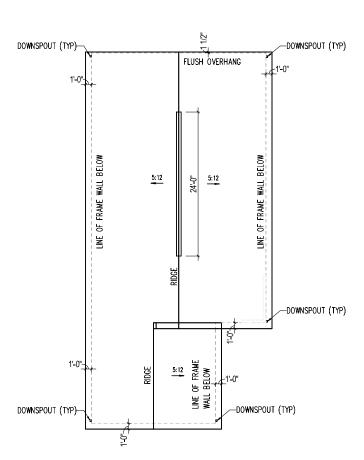
5.52 S0, FT. x 50% = 2.758 S0, FT. RIDGE, 5.52 S0, FT. x 50% = 2.758 S0, FT. SOFFIT

RIDGE VENT

2.758 S0, FT. = 22.1 FEET OF RIDGE VENT 2.758 S0, FT. SOFFIT VENT 0.452 S0, FT.

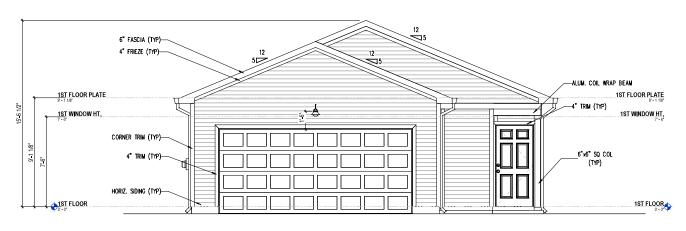
SOFFIT VENT 2.758 S0, FT. = 4.4.1 FEET OF SOFFIT VENT 0.462 S0, FT.

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



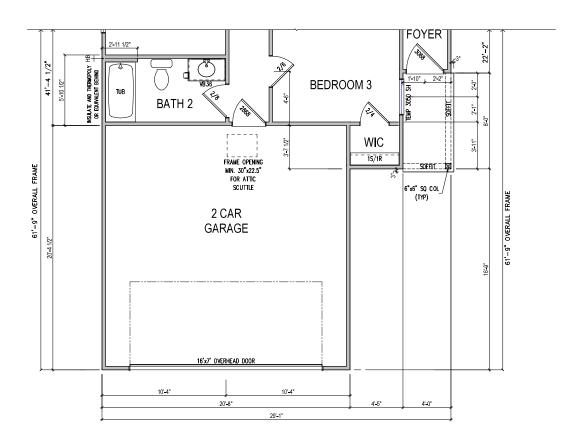
ROOF PLAN - TR101

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



FRONT ELEVATION - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

Southeast Zone 2475 Northwinds Pkwy, Suite 600 Alpharetta, GA. 30009 (770) 381-3450

PulteGroup

GOLDCREST TRADITIONAL ELEVATION - TR101

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	PRODI	ICT MANAGER			
	CURRENT RELEASE DATE: 02/19/2020				
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PROJECT TYPE Single Family

SPECIFICATION LEVEL

PLAN NAME Goldcrest NPC NUMBER 2792.700

SHEET A3-TR101-2F.01 *CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2

DOWNSPOUT (TYP)

FLUSH OVERHANG

FLUSH OVERHANG

FLUSH OVERHANG

FLUSH OVERHANG

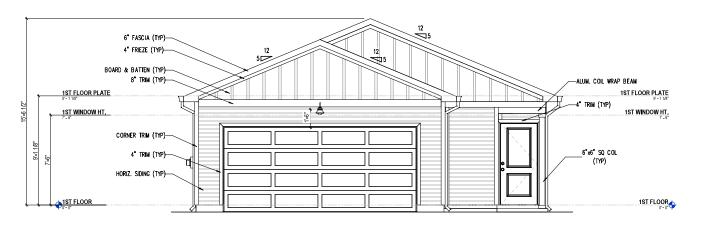
DOWNSPOUT (TYP)

DOWNSPOUT (TYP)

DOWNSPOUT (TYP)

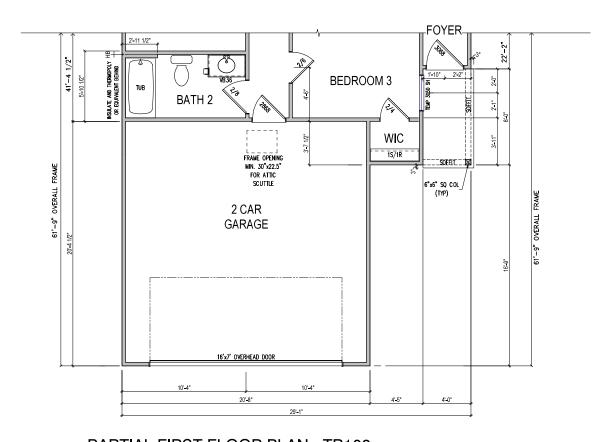
ROOF PLAN - TR102

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



FRONT ELEVATION - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

Southeast Zone

2475 Northwinds Pkwy, Suite 600

Alpharetta, GA. 30009 (770) 381-3450

PulteGroup

GOLDCREST
TRADITIONAL ELEVATION - TR102

PRODUCT MANAGER

CURRENT RELEASE
DATE: 02/19/2020

REV# DATE/DESCRIPTION

A

A

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PROJECT TYPE Single Family

SPECIFICATION LEVEL

PLAN NAME Goldcrest NPC NUMBER 2792.700

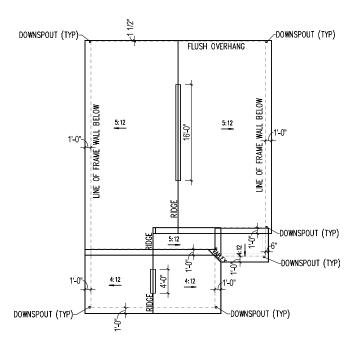
SHEET A3-TR102-2F.01 ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION)
W/ 40%-50% REQ. VENTS GREATER THAN OR EQUAL TO 3' ABOVE
EAVE / CORNICE VENTS PER IRC R806.2

300 SQ. FT. / 1 SQ. FT. = 3.26 SQ. FT. VENTILATION

3.26 SQ. FT. x 50% = 1.630 SQ. FT. RIDGE. 3.26 SQ. FT. x 50% = 1.630 SQ. FT. SOFFIT

SOFFIT VENT 1.630 SO. FT. = 26.1 FEET OF SOFFIT VENT 0.0625 SQ. FT.

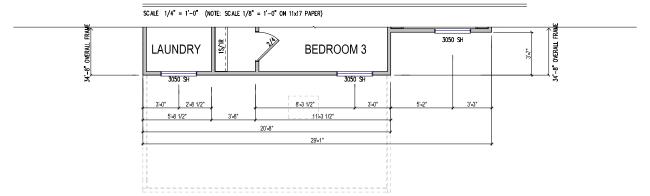
*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



ROOF PLAN - TR101

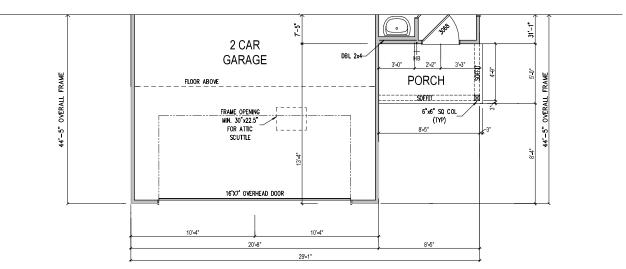
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

FRONT ELEVATION - TR101



PARTIAL SECOND FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

Southeast Zone 2475 Northwinds Pkwy, Suite 600 Alpharetta, GA. 30009 (770) 381-3450

PulteGroup

LONGSPUR TRADITIONAL ELEVATION - TR101

DATE: 01/22/20 REV# DATE/DESCRIPTION PROJECT TYPE Single Family



sheeт A3-TR101-2F,0

ATTIC VENTILATION: (300 SQ, FT, ATTIC SPACE / 1 SQ, FT, VENTILATION)

W/ 40X-50X REQ. VENTS CREATER THAN OR COUAL TO 3' ABOVE

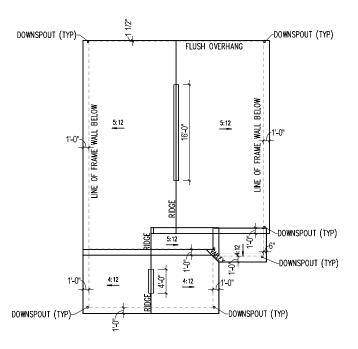
EAVE / CORNICE VENTS PER IRC R806.2

ELEVATION "TR102" 978 SQ. FT. UNDER ROOF ATTIC /
GARAGE/ PORCH
ROOF 300 SQ. FT. / 1 SQ. FT. = 3.26 SQ. FT. VENTILATION

RIDGE VENT 18 SQ. IN. = (.125 SQ. FT.) BOX VENT 50 SQ. IN. = (.3472 SQ. FT.) SOFFIT VENT 9 SQ. IN. = (.0625 SQ. FT.)

3.26 SQ. FT. x 50% = 1.630 SQ. FT. RIDGE, 3.26 SQ. FT. x 50% = 1.630 SQ. FT. SOFFIT

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2

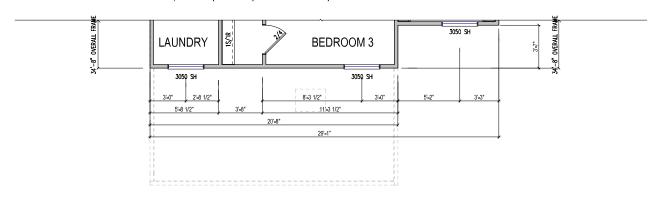


ROOF PLAN - TR102

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

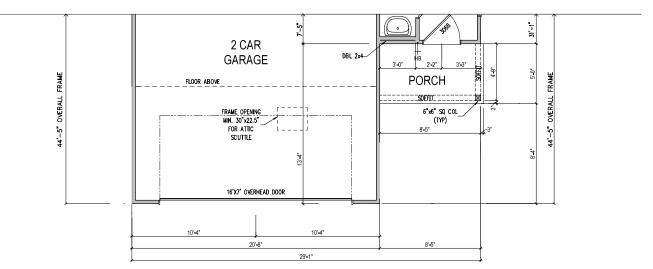
FRONT ELEVATION - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL SECOND FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

Southeast Zone 2475 Northwinds Pkwy, Suite 600 Alpharetta, GA. 30009 (770) 381-3450

PulteGroup

LONGSPUR TRADITIONAL ELEVATION - TR102

PRODUCT MANAGER
CURRENT RELEASE
DATE: 01/22/20

REV# DATE/DESCRIPTION

A

A

A

A

A

PROJECT TYPE Single Family

PECIFICATION LEVEL

PLAN NAME LONGSPUR NPC NUMBER 2769.700

> sheet A3-TR102-2F.01

1.13 SQ. FT. \times 50% = 0.567 SQ. FT. RIDGE, 1.13 SQ. FT. \times 50% = 0.567 SQ. FT. SOFFIT

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2

SOFFIT VENT 0.567 SO. FT. = 9.1 FEET OF SOFFIT VENT 0.0625 SQ. FT.

DOWNSPOUT (TYP)

1-0"

5:12

5:12

DOWNSPOUT (TYP)

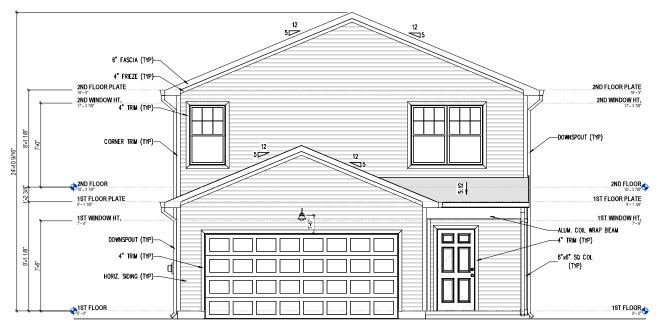
DOWNSPOUT (TYP)

DOWNSPOUT (TYP)

DOWNSPOUT (TYP)

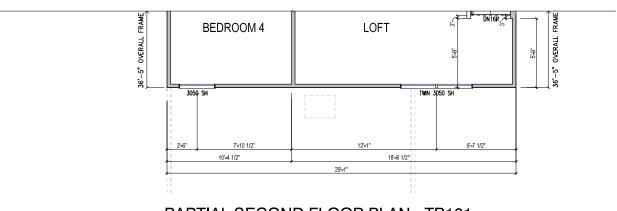
ROOF PLAN - TR101

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



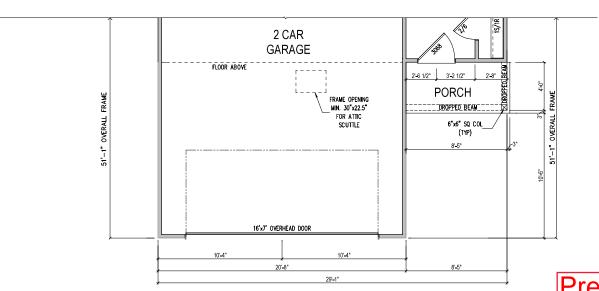
FRONT ELEVATION - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL SECOND FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

Southeast Zone

2475 Northwinds Pkwy, Suite 600

Alpharetta, GA. 30009 (770) 381-3450

PulteGroup

RAVEN
TRADITIONAL ELEVATION - TR101

PROJECT TYPE Single Family

SPECIFICATION LEVEL

PLAN NAME Raven NPC NUMBER 2771.700

SHEET A3-TR101-2F,01 SOFFIT VENT 0.567 SO. FT. = 9.1 FEET OF SOFFIT VENT 0.0625 SQ. FT.

DOWNSPOUT (TYP)

FLUSH OVERHANG

FLUSH OVERHANG

1-0"

5:12

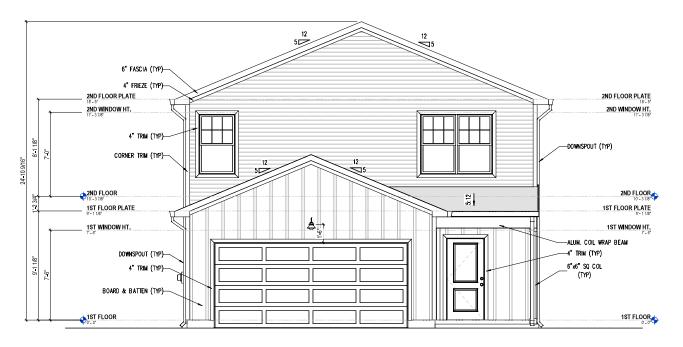
DOWNSPOUT (TYP)

DOWNSPOUT (TYP)

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2

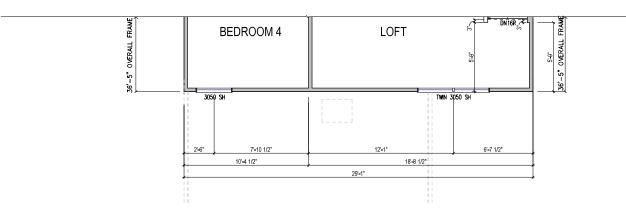
ROOF PLAN - TR102

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



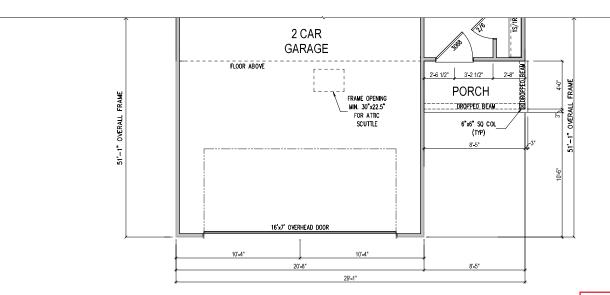
FRONT ELEVATION - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL SECOND FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

Southeast Zone

2475 Northwinds Pkwy, Suite 600

Alpharetta, GA. 30009 (770) 381-3450

PulteGroup

RAVEN TRADITIONAL ELEVATION - TR102

PRODUCT MANAGER
CURRENT RELEASE
DATE: 01/22/20

REVY DATE/DESCRIPTION

A

A

A

A

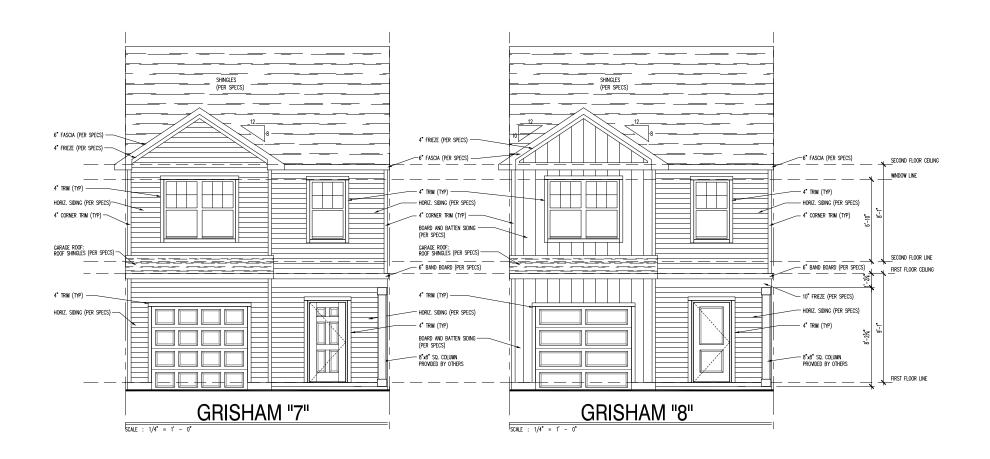
A

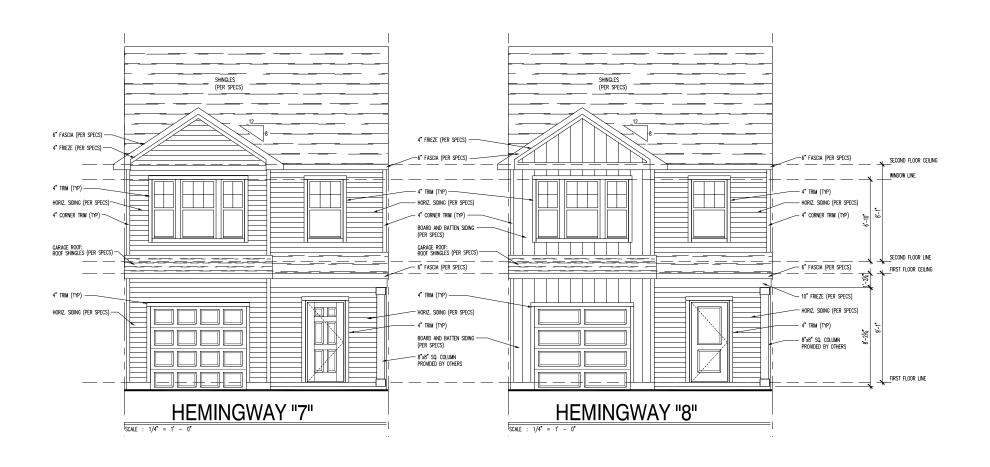
PROJECT TYPE Single Family

PECIFICATION LEVEL

PLAN NAME Raven NPC NUMBER 2771.700

sheet A3-TR102-2F.01















GRISHAM "7" HEMINGWAY "7" GRISHAM "8" HEMINGWAY "7" HEMINGWAY "8"