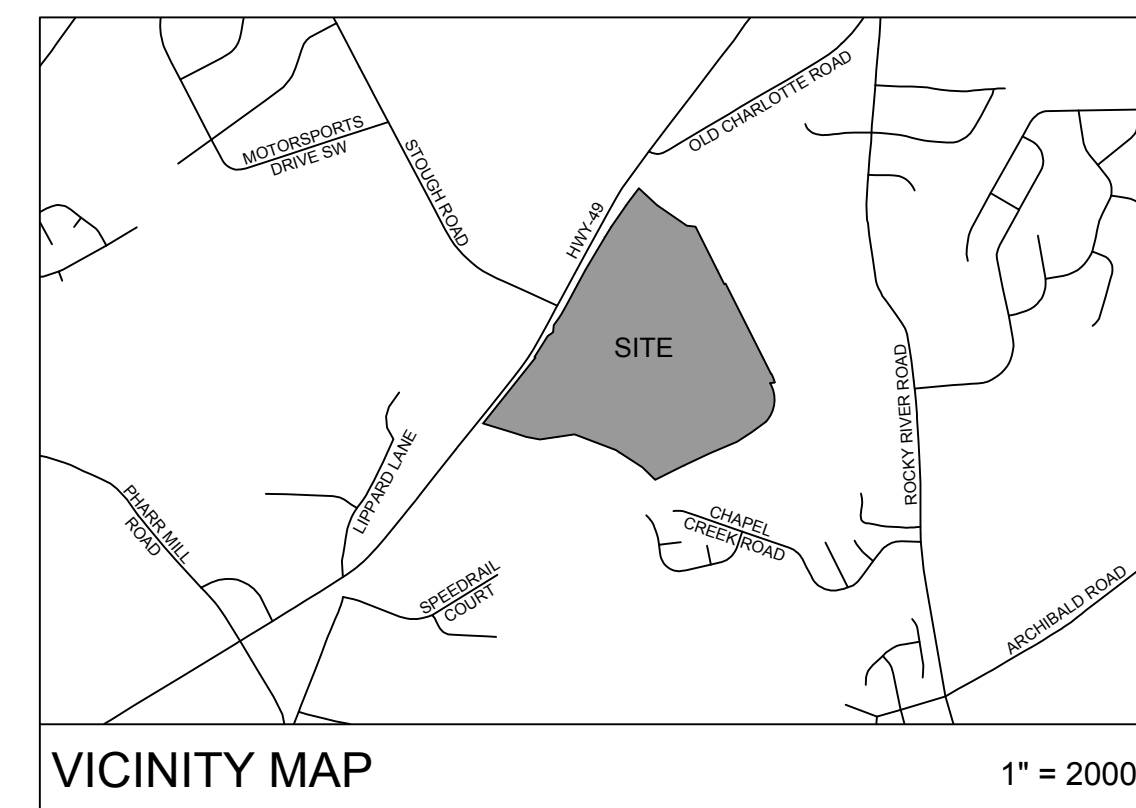
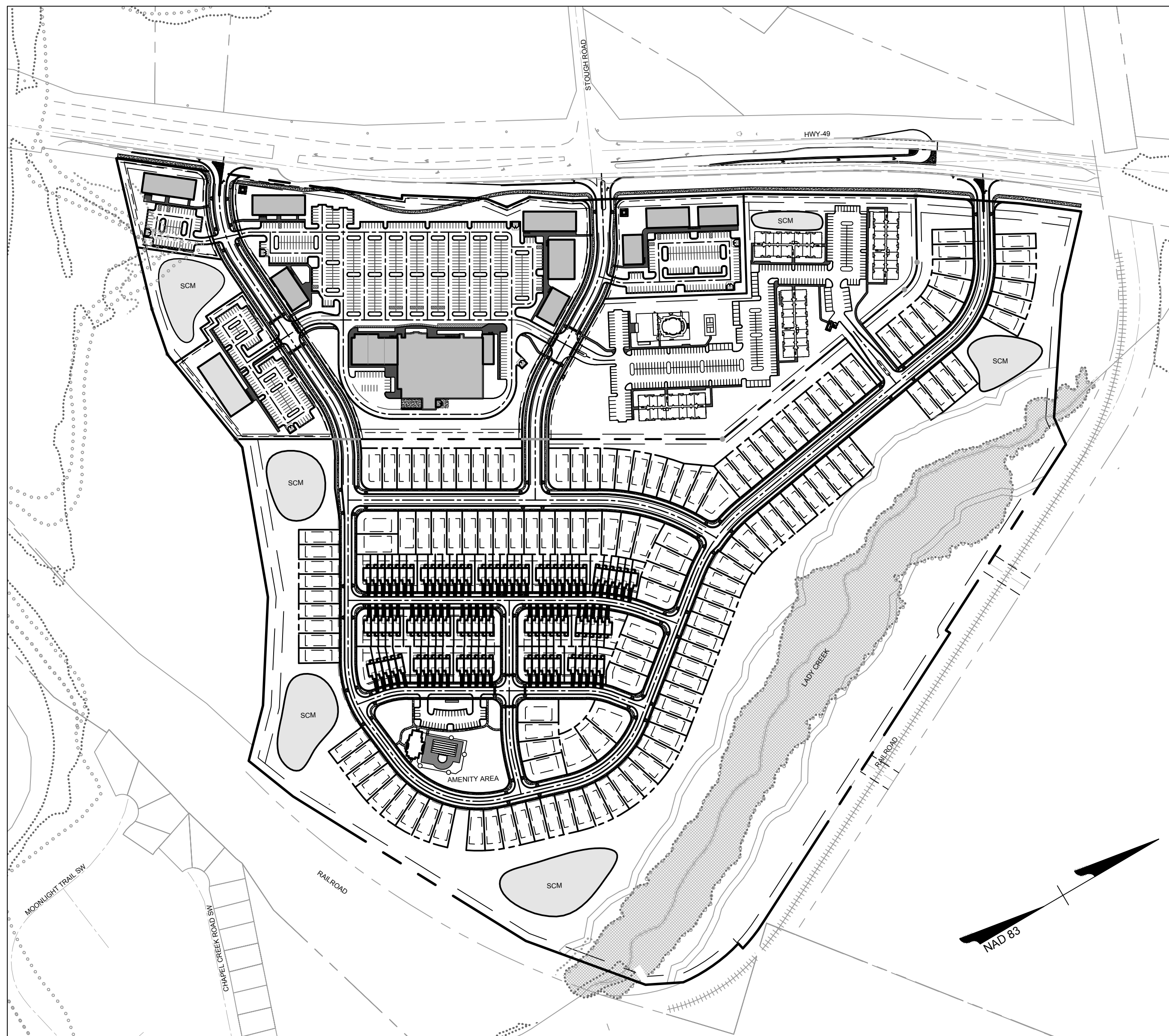


MORRISON RIDGE REZONING PLAN CONCORD, NORTH CAROLINA

- 1/(* (1')
6 (: (5
- 6 S --- EXISTING SANITARY SEWER
 - 8" SAN --- SANITARY SEWER
 - 1 --- SANITARY MANHOLE NUMBER
 - ⊙ --- EX SANITARY MANHOLE
 - ⊙ --- SANITARY MANHOLE
 - ⊙ --- EXISTING CLEAN OUT
 - --- CLEAN OUT
- :\$ 7 (5
- EXISTING WATER LINE
 - 8" W --- WATER LINE
 - ⊗ --- EXISTING WATER VALVE
 - ⊗ --- WATER VALVE
 - WATER METER
 - EXISTING FIRE HYDRANT
 - ⊕ --- FIRE HYDRANT
 - WATER LINE PLUG
 - WATER LINE TEE
- 0, 6 & (/ / \$ 1 (2 8 6 8 7, / , 7, (6
- EXISTING UTILITY POLE
 - 2 + 3 --- EXISTING OVERHEAD ELECTRIC
- 6, 7 (
- EXISTING STORM SEWER
 - STORM SEWER
 - EX DROP INLET
 - 1 --- DROP INLET & STRUCTURE NUMBER
 - CATCH BASIN
 - DOUBLE CATCH BASIN
 - DROP INLET
 - ▲ --- FLARED END SECTION
 - --- EXISTING STORM SEWER MANHOLE
 - --- STORM SEWER MANHOLE
 - CURB & CUTTER
 - PROPERTY LINE
 - DESCRIPTION ELEVATION --- BENCH MARK
 - LIMITS OF CONSTRUCTION
 - EXISTING TREE LINE
 - EXISTING SHRUB
 - EXISTING TREE
 - EXISTING FENCE
 - FENCE
 - 200 --- EXISTING CONTOUR
 - CONTOUR
 - T/C 95.32 E/P 95.32 SWL 95.32 --- SPOT ELEVATION
 - C/L SWALE
 - EXISTING SIGN
 - SIGN
 - --- PROPERTY MARKER FOUND / ROD FOUND
 - --- PIPE FOUND
 - --- MONUMENT FOUND



Sheet List Table	
Sheet Number	Sheet Title
RZ-000	COVER
RZ-001	OVERALL SITE LAYOUT
RZ-002	OVERALL SITE LAYOUT WITH TOPO
RZ-003	SITE DETAILS AND NOTES
RZ-004	SITE DETAILS AND NOTES
RZ-005	SITE DETAILS AND NOTES
RZ-006	COMMON OPEN SPACE PLAN
RZ-007	OVERALL LANDSCAPE PLAN



VICINITY MAP
SCALE: 1" = 250'

PULTE HOMES

11121 CARMEL COMMONS BLVD #405A
CHARLOTTE, NORTH CAROLINA 28226

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Timmons Group
 610 E. Morehead Street, Suite 250 | Charlotte, NC 28202
 TEL 704.602.8600 FAX 704.376.1076 www.timmons.com
 North Carolina License No. C-1652
 Project Contact Email Address: chris.todd@timmons.com

11121 CARMEL COMMONS BLVD #405A
 CHARLOTTE, NC 28226

DATE	REVISION DESCRIPTION
01/11/2021	REVISION PER CITY OF CONCORD COMMENTS

DATE: 01/11/2021
 DRAWN BY: S. GREER
 DESIGNED BY: K. BRADLEY
 CHECKED BY: C. TODD
 SCALE: AS SHOWN

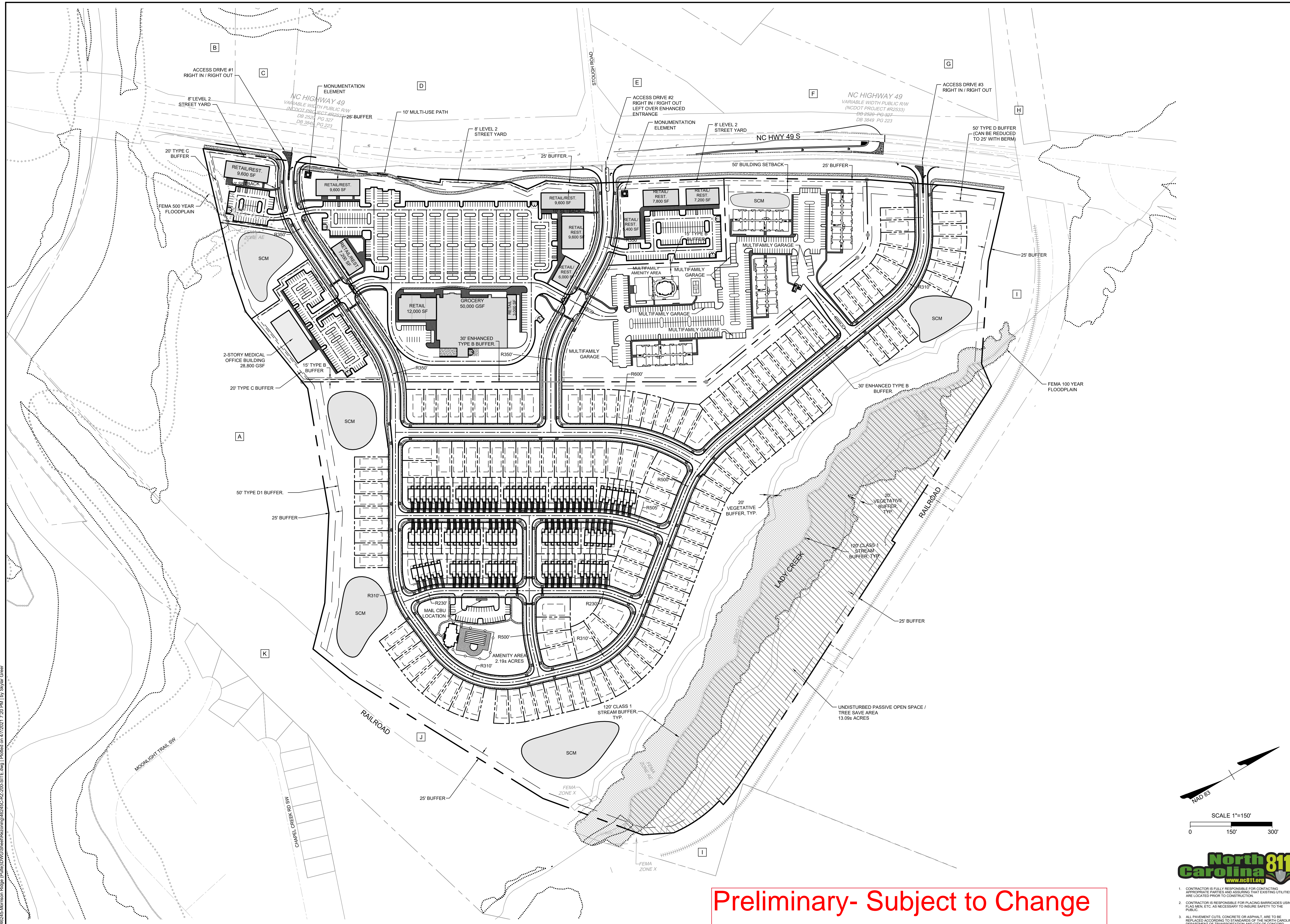
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MORRISON RIDGE
 CONCORD, NORTH CAROLINA
 COVER

JOB NO. 46245
 SHEET NO. RZ-000

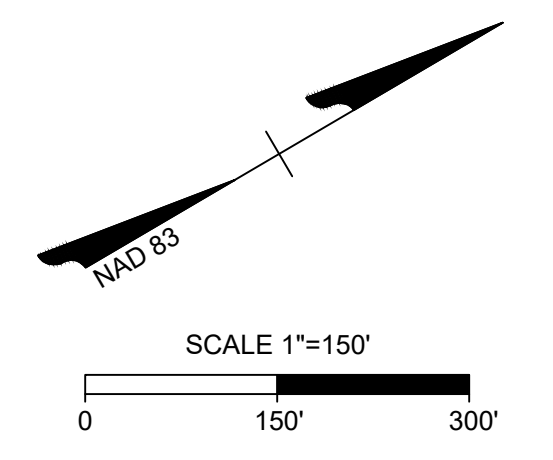
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 4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART F, OR AS AMENDED.

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Charlotte, NC 28202
TEL: 704-556-0000
www.timmons.com
Project Contact Email Address: chris.todd@timmons.com

DATE: 04/07/2021
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PULTE HOMES
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CHARLOTTE, NC 28226

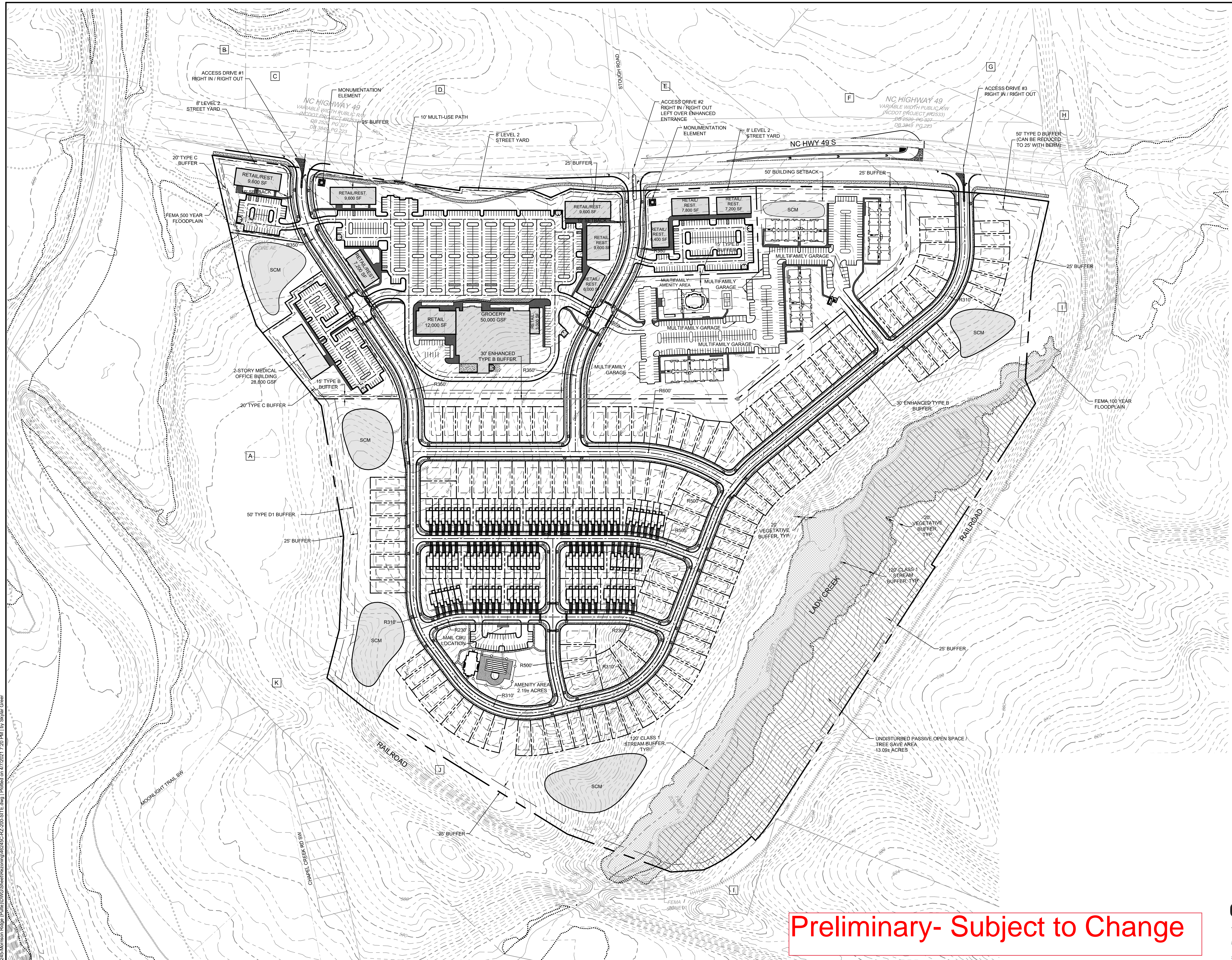
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DESIGNED BY: K. BRADLEY
CHECKED BY: C. TODD
SCALE: 1" = 150'

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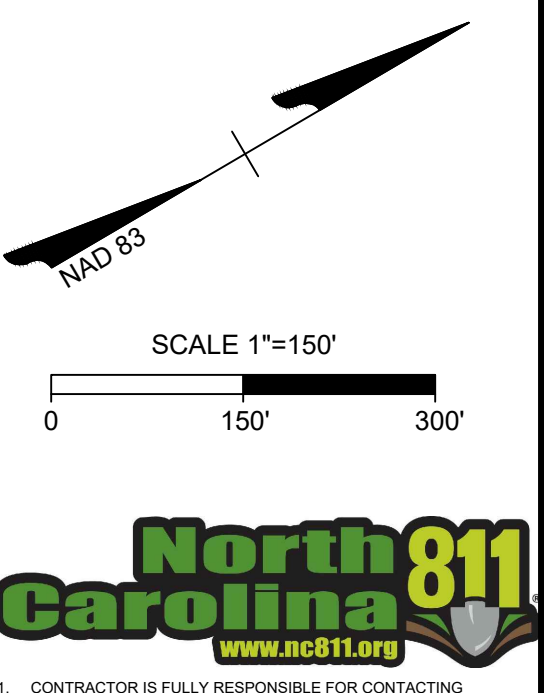
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SHEET NO.: RZ-001

NORTH CAROLINA LICENSE NO. C-1652

MORRISON RIDGE
CONCORD, NORTH CAROLINA
OVERALL SITE LAYOUT



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 Charlotte, NC 28202
 610 E. Morehead Street, Suite 2500
 TEL: 704-556-0000
 North Carolina License No. C-1652
 Project Contact Email Address: chris.todd@timmons.com

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PULTE HOMES
 11121 CAMEL COMMONS BLVD #405A,
 CHARLOTTE, NC 28226

DATE	REVISION PER CITY OF CONCORD COMMENTS
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NORTH CAROLINA LICENSE NO. C-1652
MORRISON RIDGE
 CONCORD, NORTH CAROLINA
OVERALL SITE LAYOUT WITH TOPO

JOB NO.
46245
 SHEET NO.
RZ-002

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-  COMMERCIAL AREA
-  MULTIFAMILY AREA
-  RESIDENTIAL AREA



FIRE NOTES:

1. VERTICAL CONSTRUCTION MAY NOT BEGIN UNTIL THE HYDRANT AND ACCESS ARE INSTALLED AND APPROVED.
2. STREET SIGNS WITH STREET NAMES AND LOT NUMBERS / ADDRESSES ARE REQUIRED DURING CONSTRUCTION OF HOUSES.
3. TIMING OF INSTALLATION. WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO THE DURING THE TIME OF CONSTRUCTION. (NCFC 501.4)
4. FIRE APPARATUS ACCESS ROADS SHALL BE A MINIMUM OF 20' MEASURED AT THE EDGE OF PAVEMENT. THE PAVEMENT WIDTH SHALL BE INCREASED TO 26' IF A BUILDING'S HEIGHT (MEASURED AS AVERAGE HEIGHT TO GUTTER LINE FROM AVERAGE FINISHED GRADE) IS 30' OR GREATER FOR THAT PARTICULAR ROAD. (NCFC 503.2.1).
5. THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE MORE THAN ONE FIRE APPARATUS ACCESS ROAD BASED ON THE POTENTIAL FOR IMPAIRMENT OF A SINGLE ROAD BY VEHICLE CONGESTION, CONDITION OF TERRAIN, CLIMATIC CONDITIONS OR OTHER FACTORS THAT COULD LIMIT ACCESS. (NCFC 503.1.2)
6. FIRE HYDRANTS SHALL BE PROVIDED WITH A TRAVEL DISTANCE AS DETERMINED BY APPENDIX C TABLE C105.1 (NCFC TABLE C105.1) NOTE: DISTANCE VARIES BASED UPON NEEDED FIRE FLOW.
7. FIRE HYDRANTS SHALL BE PLACED NO GREATER THAN 200 FEET FROM THE END OF EACH CUL-DE-SAC (NCFC TABLE C105.1), OTHERWISE HYDRANT SPACING NOT TO EXCEED 500 FEET.
8. WATER MAINS AND HYDRANTS INSTALLED SHALL BE DESIGNED FOR FLOW AND DURATION AS REQUIRED IN APPENDIX B TABLE 105.1. (NCFC)
9. FIRE FLOW SHALL BE HIGHER OF:
 - 1000 GPM @ 20 PSI FOR 1 HOUR PLUS THE SPRINKLER DEMAND FOR THE HOMES
 - OR
 - 1500 GPM PLUS SPRINKLER DEMAND FOR HOMES
 - *1500 GPM BASED ON AMENITY AREA AND PER TABLE B105.1 (NCFC APPENDIX B)
10. THE REQUIRED TURNING RADIUS OF THE FIRE APPARATUS ACCESS ROAD SHALL BE 42 FEET. (NCFC D103.3)
11. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE. (NCFC D103.2)
12. IF STRUCTURES EXCEED 30FT IN HEIGHT THEN INTERNAL STREETS SHALL BE DESIGNED TO 26FT IN WIDTH. GENERAL COMMENTS. THIS JURISDICTION ABIDES BY AND ENFORCES THE REQUIREMENTS OF NFPA 241 FOR CONSTRUCTION PROJECTS. A DOCUMENT WE REFER TO AS AN NFPA 241 LETTER IS REQUIRED VERIFYING THAT ALL PARTIES INVOLVED IN THIS PROJECT KNOW OF AND AGREE, TO ABIDE BY THE PROVISION REQUIRING WATER, HYDRANTS, AND ACCESS ROADS BE IN OPERATION PRIOR TO VERTICAL COMBUSTIBLE CONSTRUCTION.
13. WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION EXCEPT WHEN APPROVED ALTERNATIVE METHODS OF PROTECTION ARE PROVIDED. (NCFC 501.4)
14. NEEDED FIRE FLOW FOR THE STRUCTURE MUST BE PROVIDED AND MAINTAINED.
15. THE SITE ADDRESS SHALL BE POSTED IN A TEMPORARY FORM AND UPON COMPLETION IN A PERMANENT FORM IN A VISIBLE LOCATION IN 6-INCH CHARACTERS IN A REFLECTIVE MATERIAL & CONTRASTING COLOR. (NCFC 505.1)
16. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY OR BUILDING WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY. (NCFC 503.1.1)
17. ACCESS ROADS TO BUILDING ARE REQUIRED TO BE 20 FEET IN WIDTH FOR BUILDINGS UP TO 30 FEET HIGH AND 26 FEET FOR THOSE OVER 30 FEET. (NCFC 503.2.1)
18. FIRE ACCESS ROADS SHALL HAVE UNOBSTRUCTED CLEARANCE OF 13 FOOT 6 INCHES. (NCFC 503.2.1)
19. THE REQUIRED TURNING RADIUS OF FIRE ACCESS ROADS SHALL BE DETERMINED BY THE FIRE OFFICIAL. (NCFC 503.2.4)
20. DEAD END ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS. (NCFC 503.2.5)
21. FIRE LANES REQUIRED FOR ACCESS TO THE STRUCTURE ARE REQUIRED TO BE STRIPPED AND MARKED BY SIGNS PROHIBITING PARKING IN AREAS WHERE ACCESS MAY BE BLOCKED. BLOCKAGE TO ACCESS AFTER CONSTRUCTION MAY RESULT IN FUTURE REQUIREMENTS FOR STRIPPING AND SIGNAGE. CONTACT CONCORD FIRE PREVENTION DIVISION PRIOR TO LANE STRIPPING FOR DETAILS. ALL LANES SHALL BE MARKED IN ACCORDANCE WITH DEPARTMENT SPECIFICATIONS AND APPROVED PRIOR TO INSTALLATION. (NCFC 03.3)
22. WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 400 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING, ON-SITE FIRE HYDRANT AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL. (NCFC 507.5.1)
23. FIRE HYDRANTS - PUBLIC HYDRANTS SHALL BE PAINTED YELLOW AND PRIVATE HYDRANTS SHALL BE PAINTED RED. ALL NEW HYDRANTS SHALL BE EQUIPPED WITH A 5" STORZ FITTING.
24. FIRE DEPARTMENT CONNECTIONS (FDC) SHALL BE PROVIDED FOR SPRINKLER SYSTEMS AND BE REMOTE FROM THE BUILDING WITH SIGNAGE. (NCFC 912.1). THE LOCATION MAY NOT OBSTRUCT ACCESS TO THE BUILDINGS FOR OTHER FIRE APPARATUS DUE HOSE CONNECTION (NCFC 912.2) SEE SECTION 912 FOR DETAILS ON FDC'S.
25. FIRE HYDRANTS ARE REQUIRED WITHIN 200 FEET OF THE LOCATION OF THE FDC.
26. STRUCTURES UNDER CONSTRUCTION ARE REQUIRED TO HAVE TEMPORARY FIRE EXTINGUISHERS ON SITE DURING CONSTRUCTION. 16. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE. (NCFC D103.2)
27. BUILDINGS EXCEEDING THREE STORIES OR 30 FEET IN HEIGHT SHALL HAVE AT LEAST TWO MEANS OF FIRE APPARATUS ACCESS FOR EACH STRUCTURE. (NCFC D105.1 & D105.2)
28. BUILDINGS EXCEEDING 62,000 SQFT. WITHOUT SPRINKLERS OR 124,000 SQFT. WITH SPRINKLERS SHALL HAVE TWO ACCESS ROADS PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE PROPERTY OR AREA TO BE SERVED, MEASURED IN A STRAIGHT LINE BETWEEN ACCESSSES. (NCFC D104.2 & D104.3)
29. MULTIPLE-FAMILY RESIDENTIAL DEVELOPMENTS HAVING MORE THAN 100 DWELLING UNITS SHALL BE EQUIPPED THROUGHOUT WITH TWO SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS. PROJECTS EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS MAY HAVE ONE ENTRANCE UP TO 200 UNITS AND ABOVE 200 MUST HAVE A SECOND REMOTE ENTRANCE (NCFC D106.1 & D106.2)
30. ONE OR TWO-FAMILY RESIDENTIAL DEVELOPMENTS, DEVELOPMENTS WHERE THE NUMBER OF DWELLING UNITS EXCEEDS 50 SHALL BE PROVIDED WITH SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROADS AND SHALL MEET THE REQUIREMENTS OF D104.3 (NCFC D107.1)
31. WHERE TWO ACCESS ROADS ARE REQUIRED, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE PROPERTY OR AREA TO BE SERVED, MEASURED IN A STRAIGHT LINE BETWEEN ACCESSSES. (NCFC D104.3)

NOTE: PLEASE SEE CONCORD FIRE PREVENTION DIVISION'S WEB PAGE FOR DETAILS AND SPECIFICATIONS (HTTP://WWW.CONCORDNC.GOV/DEPARTMENTS/FIRE/FIRE-PREVENTION-DIVISION/FIRE-PREVENTION-DIVISION-DOWNLOADS). PLEASE UNDERSTAND THAT APPROVAL OF THESE DOCUMENTS IN NO WAY RELIEVES THE OWNER, ARCHITECT, OR ENGINEER FROM RESPONSIBILITY RELATED TO VIOLATIONS OF THE GOVERNING CODES AND REGULATIONS NOT FOUND BY OUR OFFICE OR OTHER REVIEWING AGENCIES. WHEN SUCH VIOLATIONS ARE FOUND THEY MUST BE CORRECTED. * THE OCCUPANCY OF THE BUILDING/UPFIT AREA SHALL NOT BE CONDUCTED PRIOR TO A CERTIFICATE OF COMPLIANCE & OCCUPANCY BEING OBTAINED FROM THE CABARRUS COUNTY BUILDING INSPECTION DEPARTMENT.

RESIDENTIAL PARKING CALCULATIONS:

REQUIRED PARKING:
 SINGLE FAMILY DETACHED: 2 SPACES X 150 UNITS = 300 SPACES
 TOWNHOMES: 1.5 SPACES X 90 UNITS = 135 SPACES
 TOTAL REQUIRED PARKING: 435 SPACES
 PROVIDED PARKING:
 SINGLE FAMILY DETACHED: 2 CAR GARAGE + 2 PARKING IN DRIVEWAY = 4 SPACES X 150 UNITS = 600 SPACES
 TOWNHOMES: 1 CAR GARAGE + 1 PARKING IN DRIVEWAY + 2 SPACES X 90 UNITS = 180 SPACES
 TOTAL PROVIDED PARKING: 780 SPACES
 NOTE: ADDITIONAL PARKING MAY BE PROVIDED AT AMENITY AREA. NUMBER OF SPACES TO BE DETERMINED DURING CONSTRUCTION DOCUMENT PHASE

COMMERCIAL SITE:

TOTAL MAXIMUM COMMERCIAL SQUARE FOOTAGE:
 149,200 SF
 COMMERCIAL AREA A
 1,500 SF RESTAURANT*
 8,100 SF RETAIL
 COMMERCIAL AREA B
 28,800 SF MEDICAL OFFICE BUILDING
 COMMERCIAL AREA C
 50,000 SF GROCERY
 30,000 SF RESTAURANT*
 10,400 SF RETAIL
 COMMERCIAL AREA D
 5,400 SF RESTAURANT*
 15,000 SF RETAIL
 *BUILDING SQUARE FOOTAGE DESIGNATED AS RESTAURANT USE MAY BE CONVERTED TO RETAIL USE.

COMMERCIAL PARKING CALCULATIONS:

PARKING REQUIREMENTS
 GROCERY / FOOD STORE
 MIN 1 SPACE PER 300 SF
 MAX 1 SPACE PER 200SF
 RETAIL
 MIN 1 SPACE PER 250 SF
 MAX 1 SPACE PER 150 SF
 RESTAURANT
 MIN 1 SPACE PER 3 SEATS
 MAX 1 SPACE PER 150 SF
 PARKING REQUIRED
 COMMERCIAL AREA A
 1,500 SF RESTAURANT 19 MIN SPACES** 30 MAX SPACES
 8,100 SF RETAIL 30 MIN SPACES 54 MAX SPACES
 TOTAL 49 MIN SPACES 84 MAX SPACES
 COMMERCIAL AREA B
 28,800 SF MEDICAL OFFICE BUILDING 29 MIN SPACES 122 MAX SPACES
 COMMERCIAL AREA C
 50,000 SF GROCERY 167 MIN SPACES** 250 MAX SPACES
 30,000 SF RESTAURANT 400 MIN SPACES** 600 MAX SPACES
 10,400 SF RETAIL 42 MIN SPACES 70 MAX SPACES
 TOTAL 608 SPACES 920 MAX SPACES
 COMMERCIAL AREA D
 5,400 SF RESTAURANT 77 MIN SPACES** 120 MAX SPACES
 15,000 SF RETAIL 54 MIN SPACES 96 MAX SPACES
 TOTAL 131 MIN SPACES 216 MAX SPACES
 **FINAL NUMBER OF SEATS IN RESTAURANTS UNKNOWN. PARKING CALCULATIONS ASSUME 1 SPACE PER 75 SF WILL MEET THE MINIMUM REQUIREMENT. ACTUAL PARKING SHALL BE PROVIDED TO MEET 1 SPACE PER 3 SEAT REQUIREMENT WHILE LEASING RESTAURANT SPACE.
 PARKING PROVIDED
 COMMERCIAL AREA A 53 SPACES
 COMMERCIAL AREA B 142 SPACES
 COMMERCIAL AREA C 612 SPACES
 COMMERCIAL AREA D 140 SPACES

MULTIFAMILY SITE AND PARKING CALCULATIONS:

MULTIFAMILY UNITS PROVIDED 224
 ONE-BEDROOM UNITS 128
 TWO-BEDROOM UNITS 96
 REQUIRED PARKING: 336 SPACES (1.5 SPACES X 224 UNITS)
 PROVIDED PARKING: 392 SPACES



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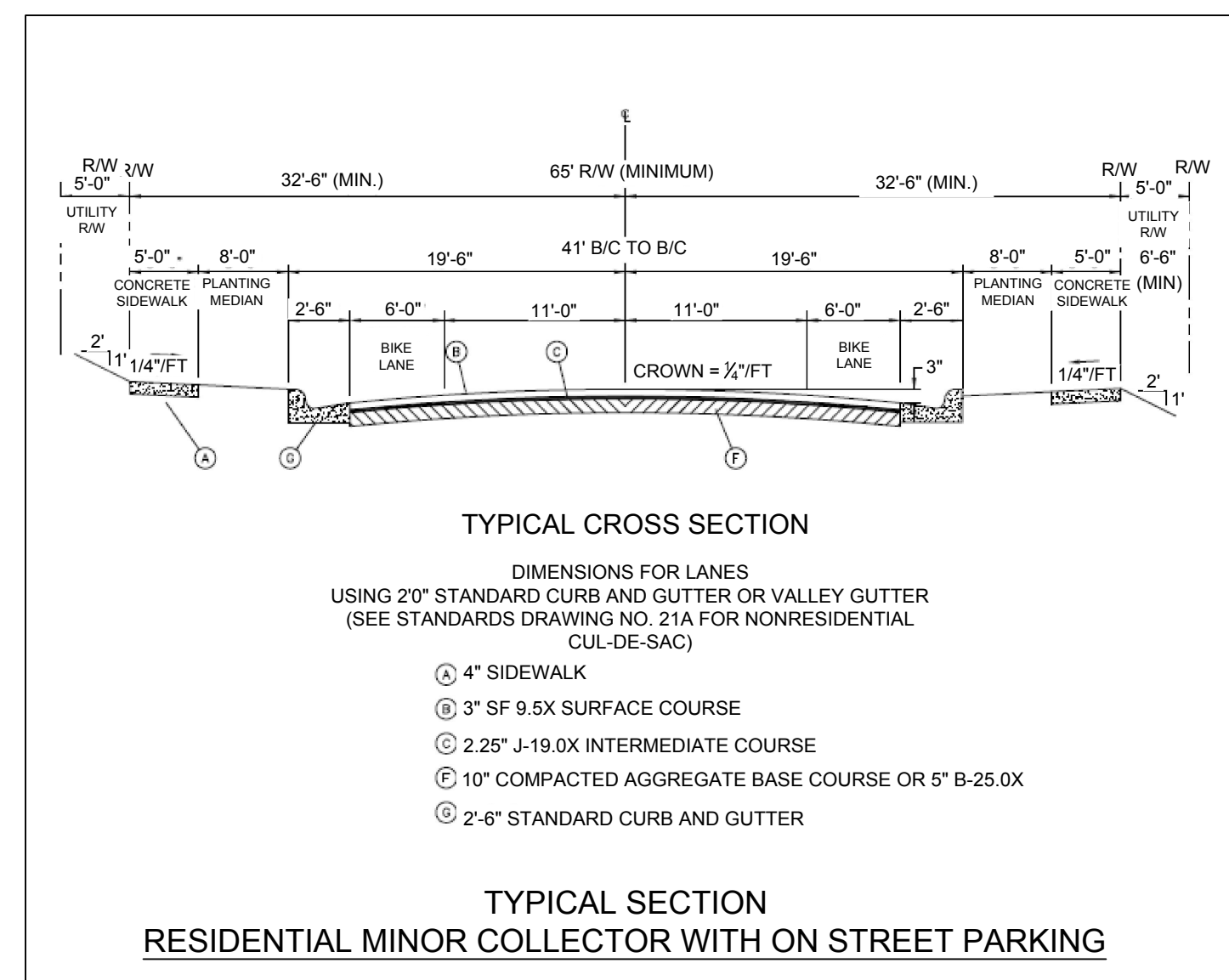
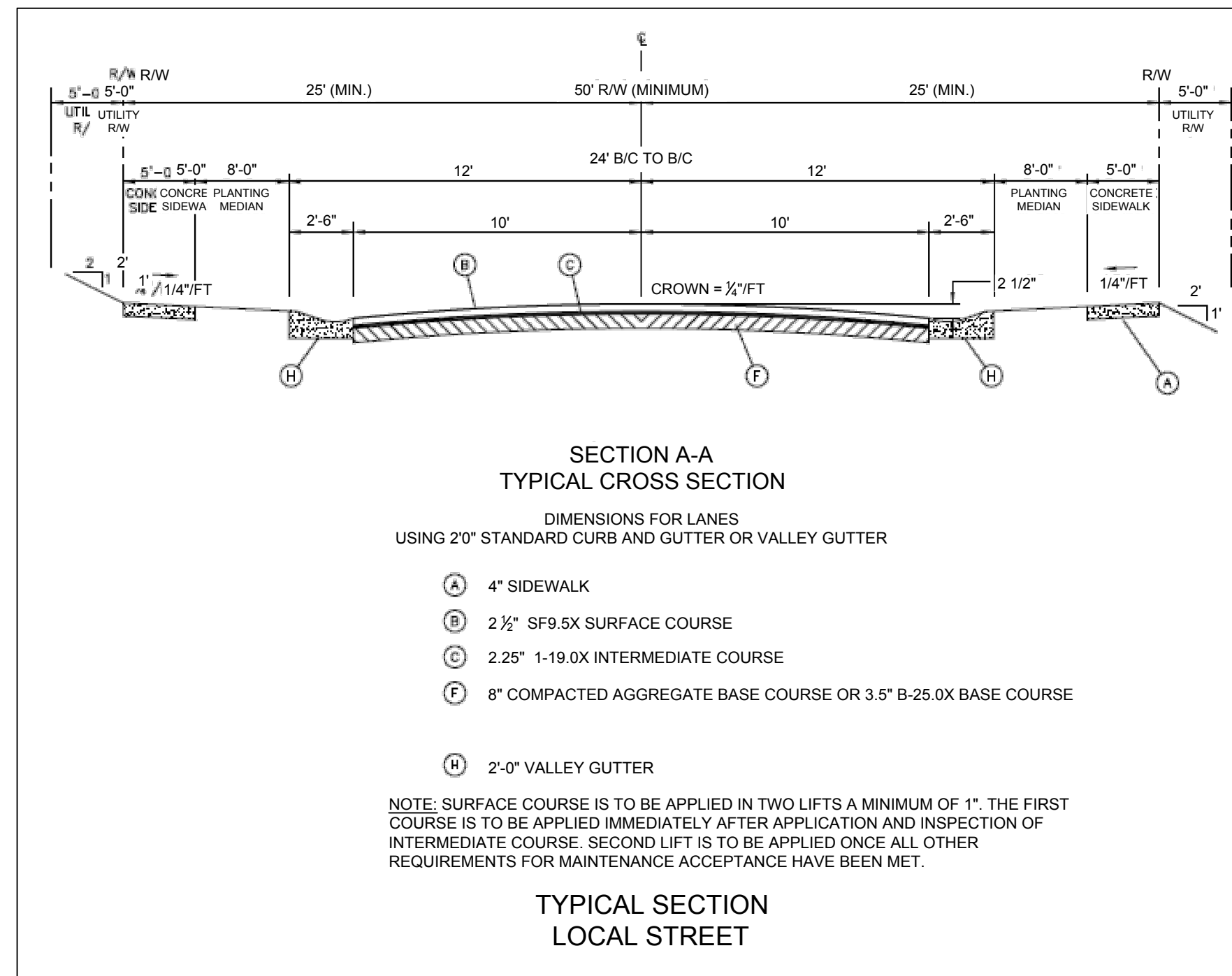
DRAWN BY: S. GREER
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 SCALE: AS SHOWN

TIMMONS GROUP
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MORRISON RIDGE
 CONCORD, NORTH CAROLINA
SITE DETAILS AND NOTES

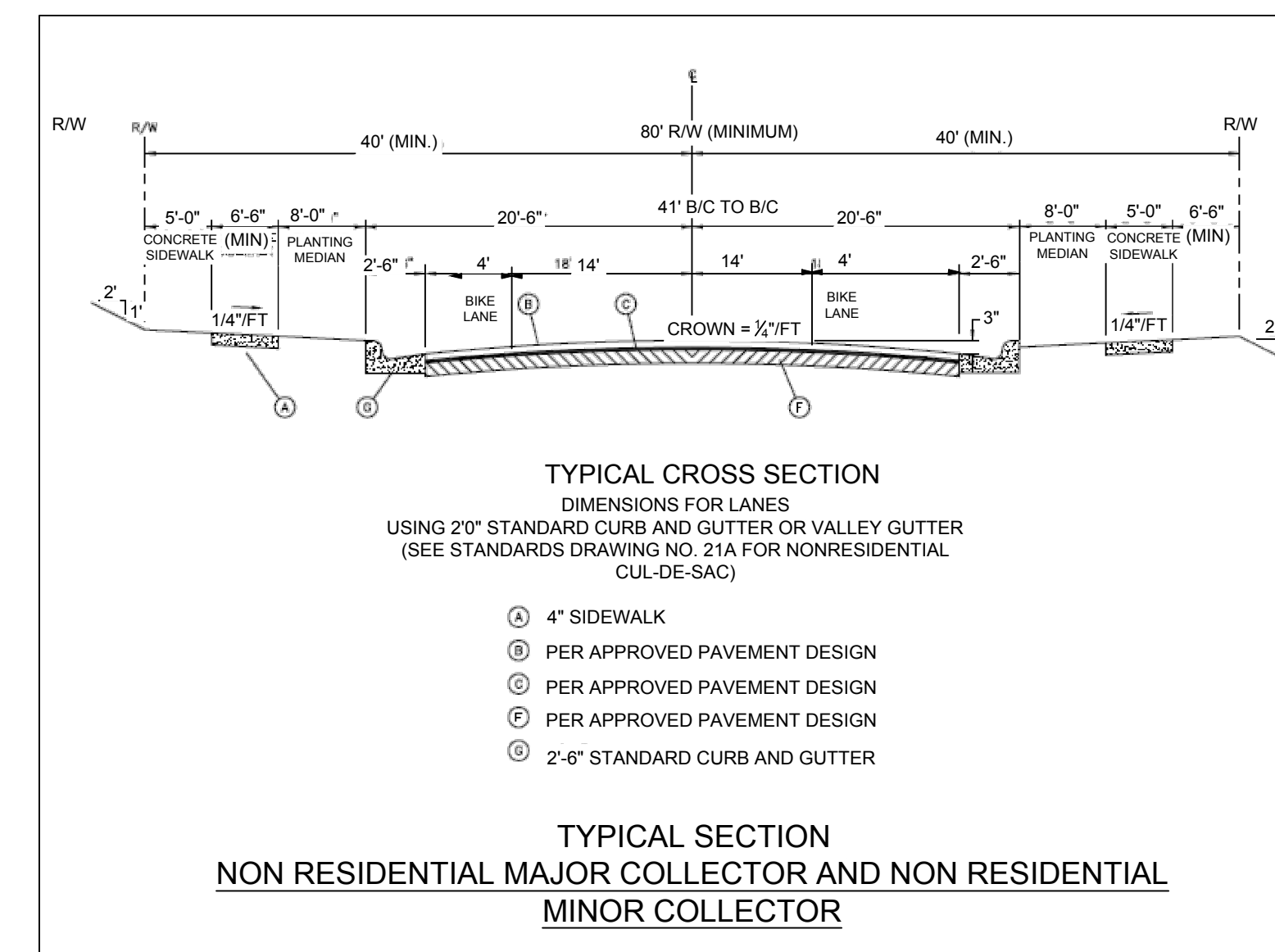
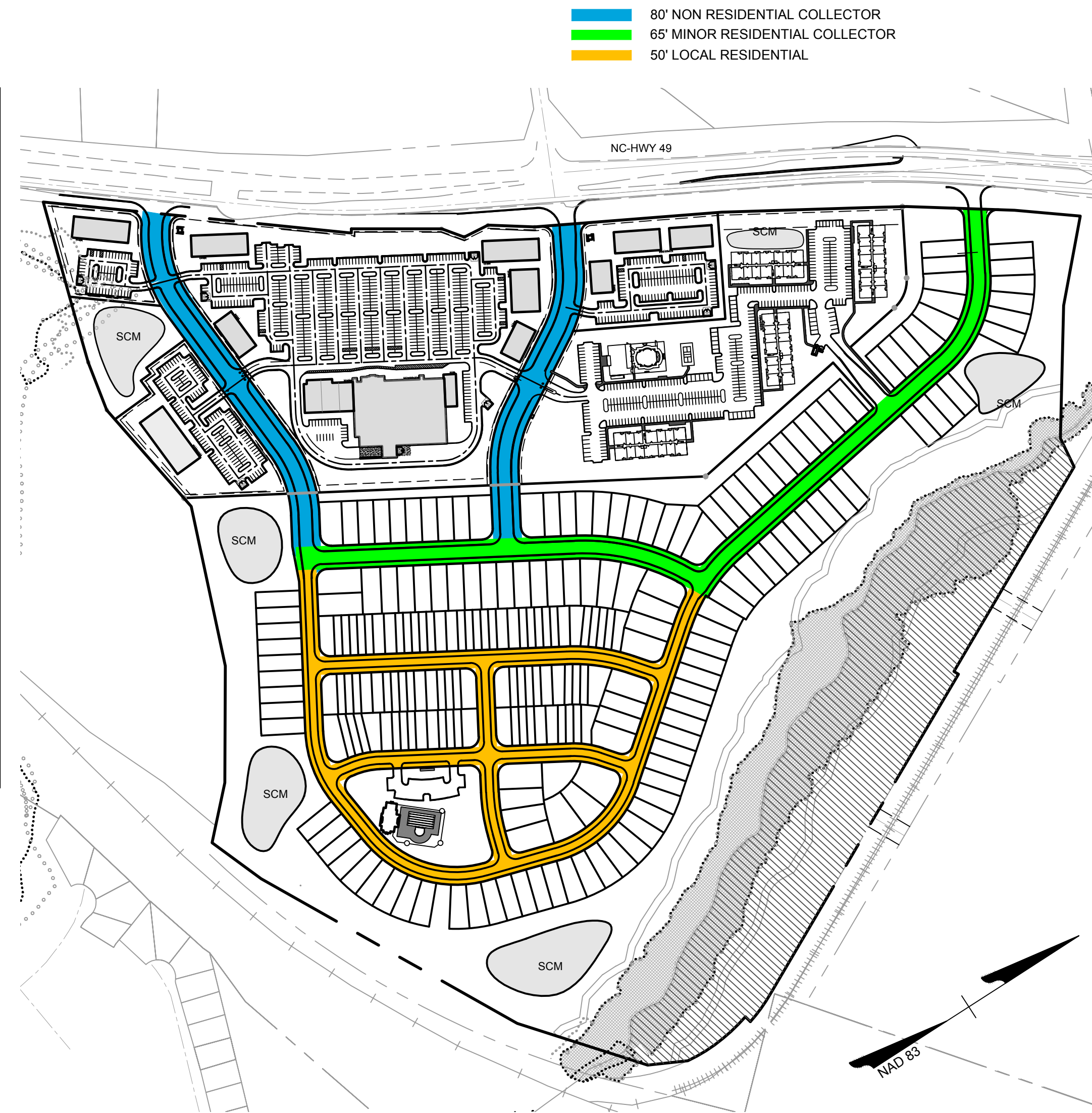
JOB NO. 46245
 SHEET NO. RZ-004

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**RESIDENTIAL MINOR COLLECTOR WITH ON
STREET PARKING
(65' R/W)**



**NON RESIDENTIAL MAJOR COLLECTOR AND NON
RESIDENTIAL MINOR COLLECTOR
(80' R/W)**

ADJACENT PROPERTY OWNERS					
LOT	PARCEL NUMBER	ZONING	PROPERTY OWNER 1	PROPERTY OWNER 2	MAILING ADDRESS
A	55280312750000	I-2	201 CONCORD INC		225 DUNCAN MILL RD STE 101 TORONTO, ON M3B
B	55189307990000	LI	KARAMPOURNIOTIS DIMITRI	KARAMPOURNIOTIS MELODY/WIFE	2110 HIGHWAY 49 SOUTH CONCORD, NC 28027
C	55189430280000	LI	KARAMPOURNIOTIS DIMITRI	KARAMPOURNIOTIS MELODY/WIFE	2111 HIGHWAY 49 SOUTH CONCORD, NC 28027
D	55189466830000	LI	THE CHARLOTTE-MECKLENBURG HOSPITAL AUTHORITY	C/O BENNETT THOMPSON	9401 ARROWPOINT BLVD, CHARLOTTE, NC 28273
E	55280511690000	I-1	PS NC III LP	C/O PUBLIC STORAGE	701 WESTERN AVE # 26543, GLENDALE, CA 91201
F	55280536450000	I-1	PS NC III LP	C/O PUBLIC STORAGE	701 WESTERN AVE # 26543, GLENDALE, CA 91201
G	55280783000000	GI	STONEWALL JACKSON TRAINING SCHOOL		1636 GOLD STAR DR RALEIGH, NC 27607
H	55187986520000	GI	BOOTSMEAD LEASECO LLC	ATTN: A WELLFORD TABOR	2820 SELWYN AVE STE 550, CHARLOTTE, NC 28209
I	55187986520000	LI	BOOTSMEAD LEASECO LLC	ATTN: A WELLFORD TABOR	2820 SELWYN AVE STE 550, CHARLOTTE, NC 28209
J	55281393480000	C2-CU	NC DEPT OF TRANSPORTATION		1546 MAIL SERVICE CENTER RALEIGH, NC 27699
K	55079531800000	GI AND LDR	NORTH CAROLINA RAILROAD CO	ATTN DANIEL HALLORAN	2809 HIGHWOODS BLVD STE 100, RALEIGH, NC 27604



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DATE: 01/11/2021
DRAWN BY: S. GREER
DESIGNED BY: K. BRADLEY
CHECKED BY: C. TODD
SCALE: AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

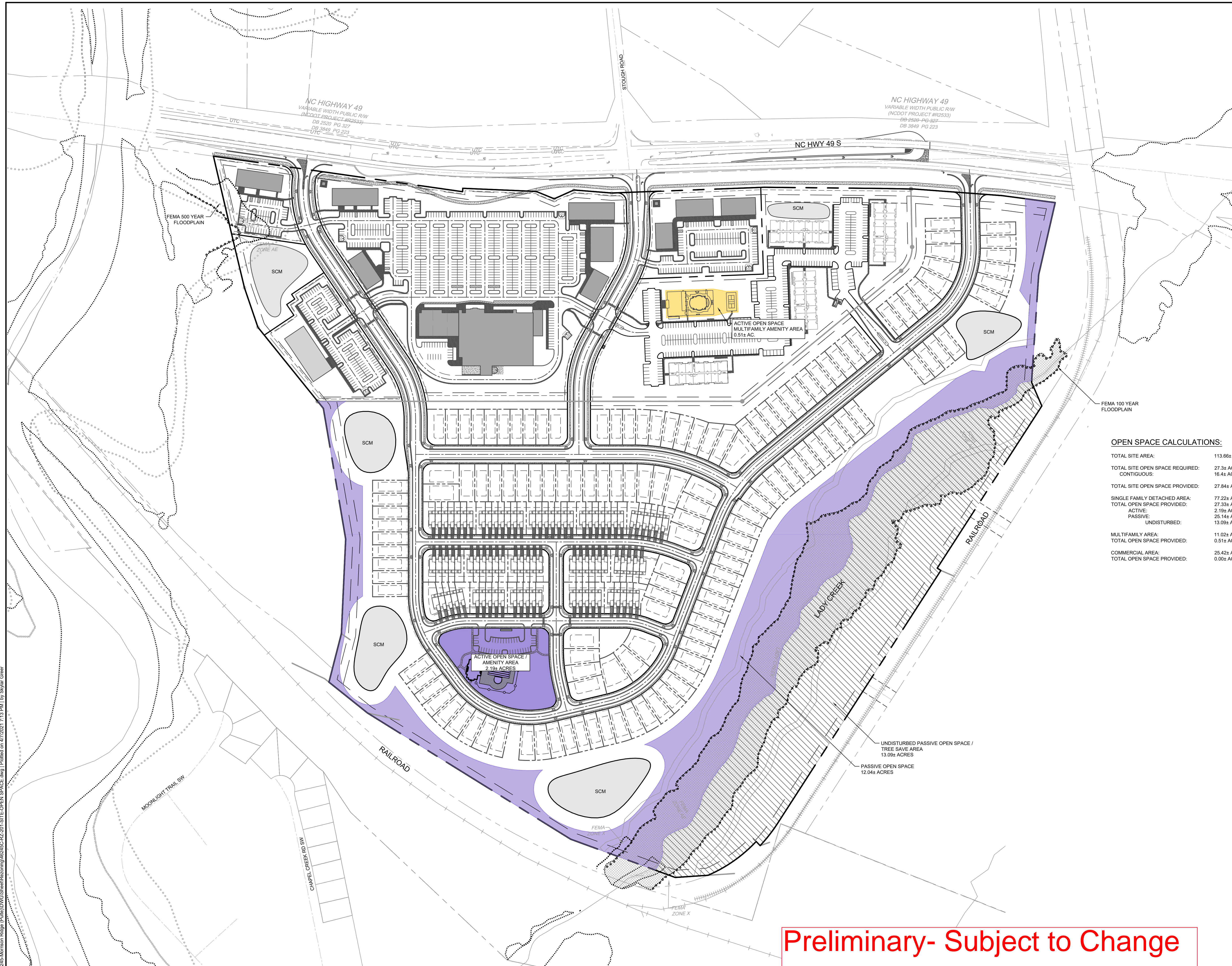
MORRISON RIDGE
CONCORD, NORTH CAROLINA
SITE DETAILS AND NOTES

JOB NO.
46245

SHEET NO.
RZ-005

S:\10408245-Morrison Ridge (P)\DWG\Sheet\Recording\8245C-RZ-200-SITE.dwg | Plotted on: 4/7/2021 7:21 PM | by: Skylar Greer

S:\1\04\02\45-Morrison Ridge (P)\04\IDWG\Sheet\Recovery\02\45-CZ-201-SITE-OPEN SPACE.dwg | Plotted on: 4/7/2021 7:13 PM | by: Skylar Greer



OPEN SPACE CALCULATIONS:

TOTAL SITE AREA:	113.66± ACRES
TOTAL SITE OPEN SPACE REQUIRED:	27.3± ACRES (24%)
CONTIGUOUS:	16.4± ACRES (60% OF REQUIRED OPEN SPACE)
TOTAL SITE OPEN SPACE PROVIDED:	27.84± ACRES (24%)
SINGLE FAMILY DETACHED AREA:	77.22± ACRES
TOTAL OPEN SPACE PROVIDED:	27.33± ACRES
ACTIVE:	2.19± ACRES (0.01% OF SINGLE FAMILY DETACHED AREA)
PASSIVE:	25.14± ACRES (02.0% OF SINGLE FAMILY DETACHED AREA)
UNDISTURBED:	13.09± ACRES (12.1% OF TOTAL SITE AREA)
MULTIFAMILY AREA:	11.02± ACRES
TOTAL OPEN SPACE PROVIDED:	0.51± ACRES
COMMERCIAL AREA:	26.42± ACRES
TOTAL OPEN SPACE PROVIDED:	0.00± ACRES



NAD 83
SCALE 1"=150'
0 150' 300'

Preliminary- Subject to Change

TIMMONS GROUP

MORRISON RIDGE
CONCORD, NORTH CAROLINA
COMMON OPEN SPACE PLAN

NORTH CAROLINA LICENSE NO. C-1652

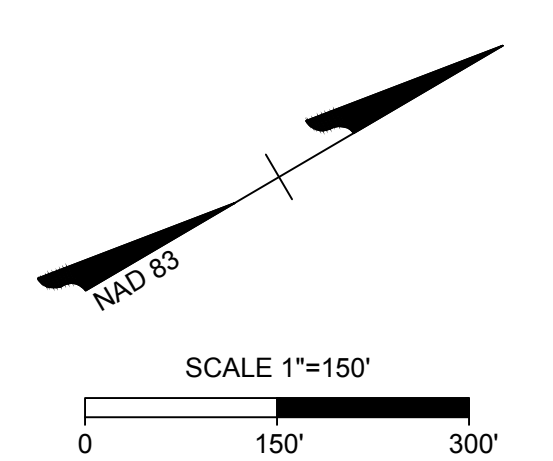
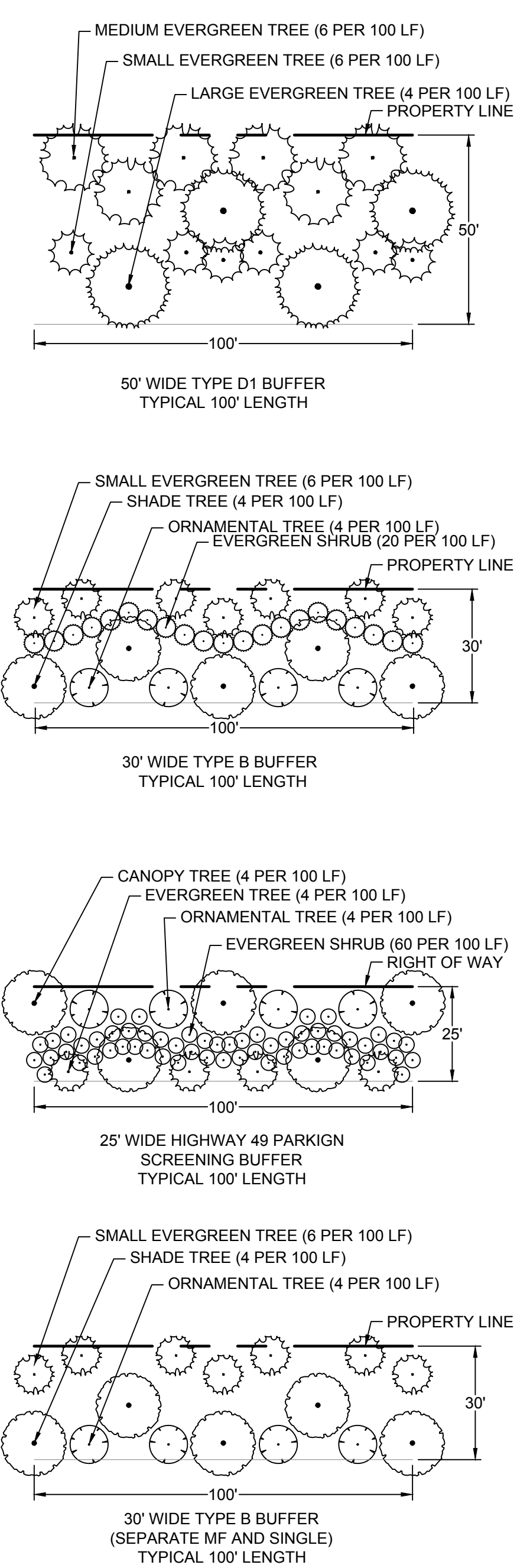
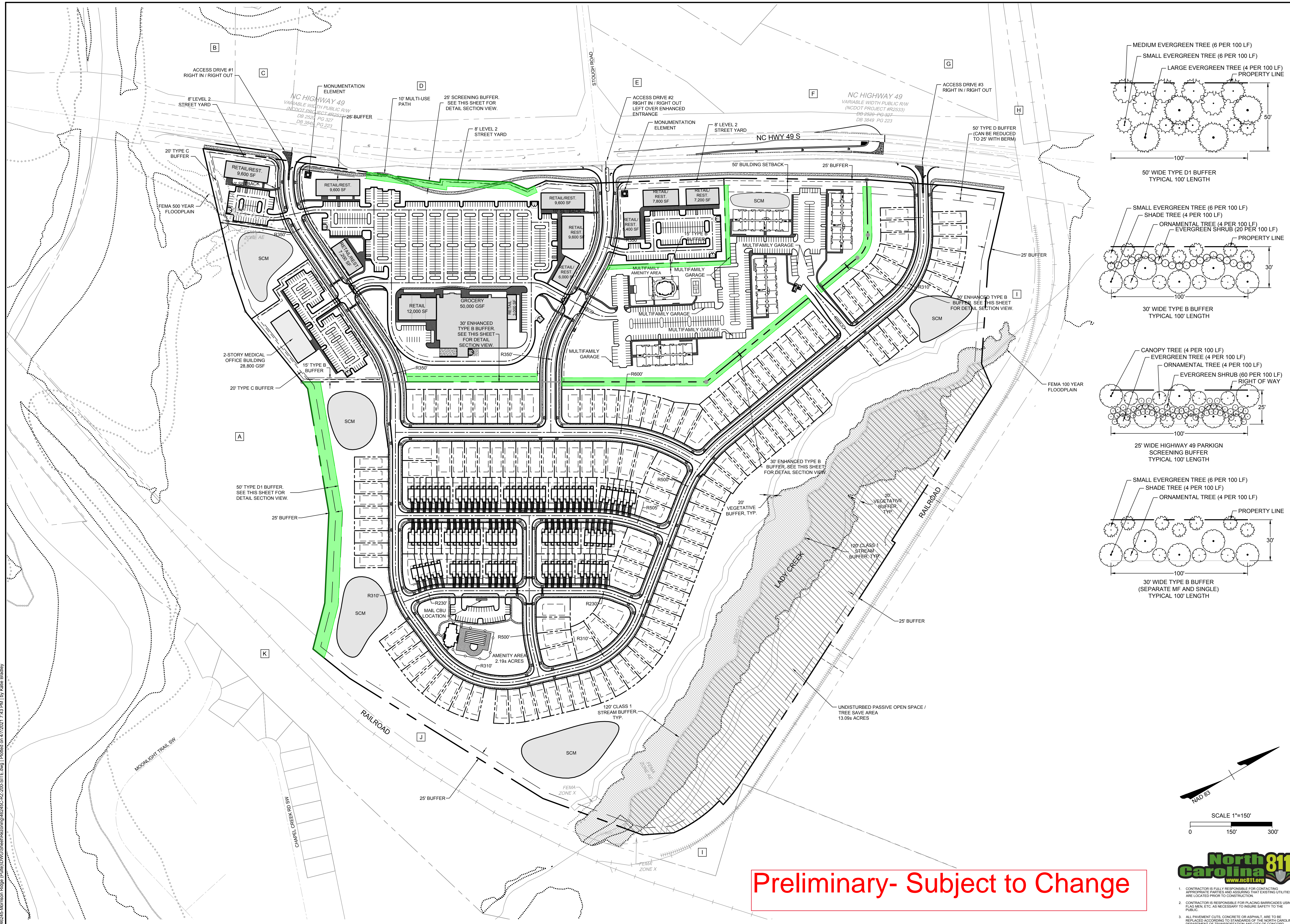
YOUR VISION ACHIEVED THROUGH OURS.

THIS DRAWING PREPARED AT THE
CHARLOTTE OFFICE
610 E. Meredith Street, Suite 2500
Charlotte, NC 28202
TEL: 704-888-8000
www.timmons.com
Project Contact Email Address: chris.todd@timmons.com

DATE	REVISION	PER CITY OF CONCORD COMMENTS
04/07/2021	REVISED PER CITY OF CONCORD COMMENTS	

DATE	01/11/2021
DRAWN BY	S. GREER
DESIGNED BY	K. BRADLEY
CHECKED BY	C. TODD
SCALE	1" = 150'
JOB NO.	46245
SHEET NO.	RZ-006

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
 2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAGMEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
 3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CITY OF CONCORD UTILITY DEPARTMENT SPECIFICATIONS.
 4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



Preliminary- Subject to Change



1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO INSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND CITY OF CONCORD UTILITY DEPARTMENT SPECIFICATIONS.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART F, OR AS INDICED.

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

MORRISON RIDGE
CONCORD, NORTH CAROLINA

OVERALL LANDSCAPE PLAN

THIS DRAWING PREPARED AT THE
CHARLOTTE OFFICE
610 E. Morehead Street, Suite 2500
TEL: 704-550-8888
Project Contact Email Address: chris.todd@timmons.com

Pulte Group
PULTE HOMES
11121 CARMEL COMMONS BLVD #405A,
CHARLOTTE, NC 28226

DATE: 04/07/2021
REVISION PER CITY OF CONCORD COMMENTS

DATE	REVISION PER CITY OF CONCORD COMMENTS
01/11/2021	

YOUR VISION ACHIEVED THROUGH OURS

DESIGNED BY: S. GREER
CHECKED BY: K. BRADLEY
C. TODD

DATE: 01/11/2021
DRAWN BY: S. GREER
DESIGNED BY: K. BRADLEY
CHECKED BY: C. TODD
SCALE: 1" = 150'

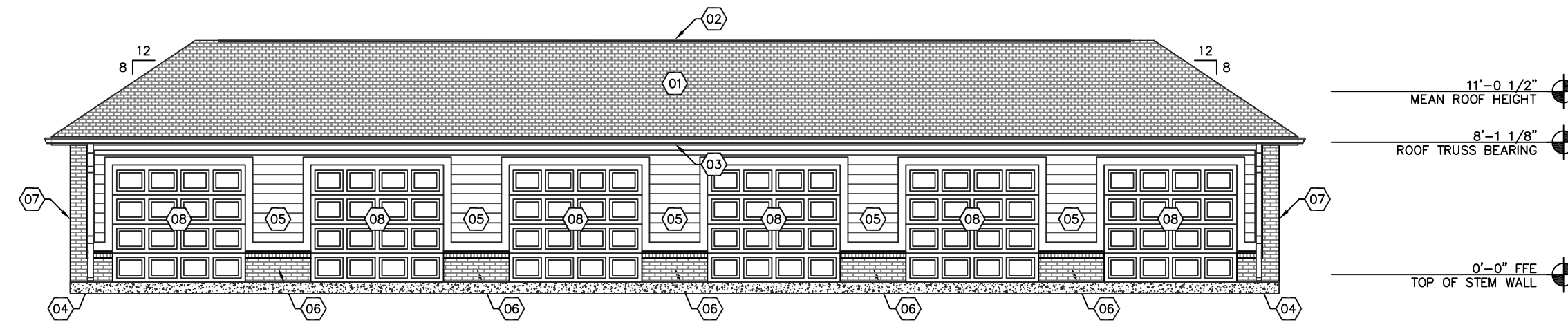
JOB NO. 46245

SHEET NO. RZ-007

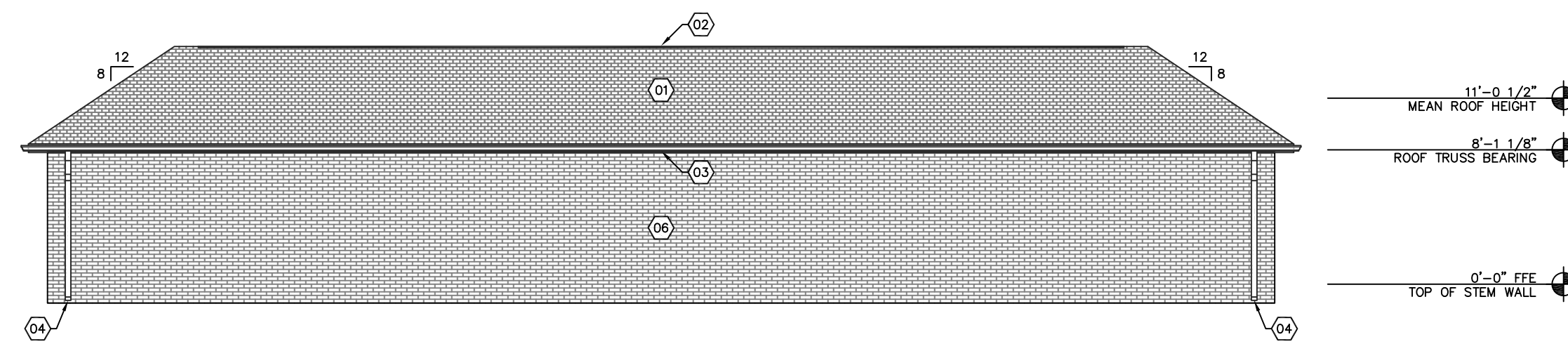
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Preliminary - Subject to Change

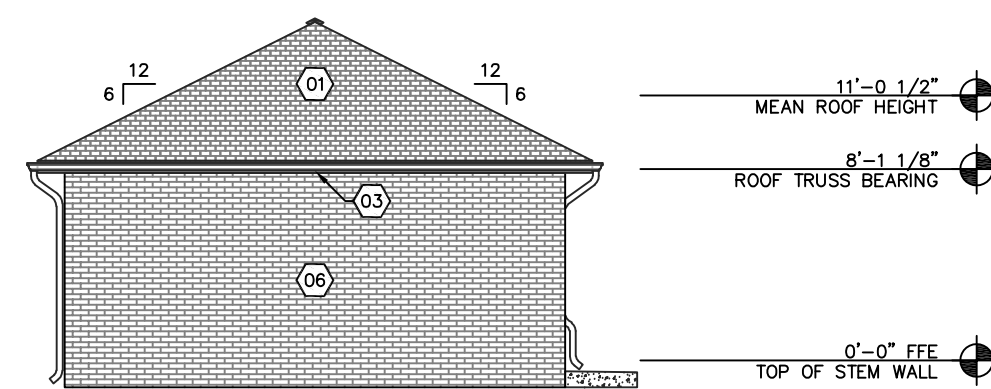
NOT USED



1 FRONT ELEVATION - GARAGE 1
1/8" = 1'



2 REAR ELEVATION - GARAGE 1
1/8" = 1'



3 LEFT SIDE ELEVATION - GARAGE 1
1/8" = 1'
BOTH SIDES SIMILAR

NOT USED

NOT USED

NOT USED

ELEVATION MATERIAL KEY:

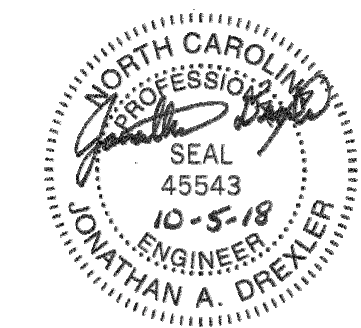
- 01 25 YEAR ARCHITECTURAL SHINGLES OVER #15 ROOFING FELT
- 02 ATTIC VENT - CONTINUOUS RIDGE VENT - SEE BUILDING ROOF PLANS
- 03 PRE-FINISHED 5" SEAMLESS GUTTER OVER 6" FIBER CEMENT FACIA BOARD
- 04 PRE-FINISHED 4"x3" ALUMINUM DOWNSPOUT
- 05 FIBER CEMENT LAP SIDING W/ 7" EXPOSURE & 6" FIBER CEMENT TRIM AT SILL, FRIEZE BOARD, WALL CORNERS, & CLADDING TRANSITIONS
- 06 BRICK VENEER W/ SLOPED ROWLOCK SILL AT CLADDING TRANSITIONS & WINDOW SILLS
- 07 FULL WALL HEIGHT BRICK VENEER ACCENT CORNER COLUMNS - 11 1/2" WIDE FACE OF WALL CORNER AS SHOWN
- 08 ALUMINUM GARAGE DOOR W/ 6" FIBER CEMENT TRIM
- 09 FIBER CEMENT WRAPPED BEAM
- 10 FIBER CEMENT WRAPPED PRESSURE TREATED 6x6 COLUMN

ELEVATION MATERIAL KEY NOTES:

1. G.C. TO COORDINATE WITH OWNER FOR COLOR AND FINISH FOR ALL EXTERIOR CLADDING AND FEATURES.

REVISIONS

PROJECT	1810
DATE	10-5-18
DRAWN BY	JAD



FIRM NO. C-2826

COMET BERMUDA RUN - GARAGE
 PARCEL: C80000177 (PART)
 FARMINGTON TOWNSHIP - BERMUDA RUN
 DAVIE COUNTY - NORTH CAROLINA
 GARAGE 1 ELEVATIONS - FRONT, REAR, & SIDE

Rehab ENGINEERING
 401 East Fourth Street, Suite 201
 Winston-Salem, North Carolina 27101-4171
 www.rehabeng.com
 office 336 714-8935
 fax 336 722-9872

BRE

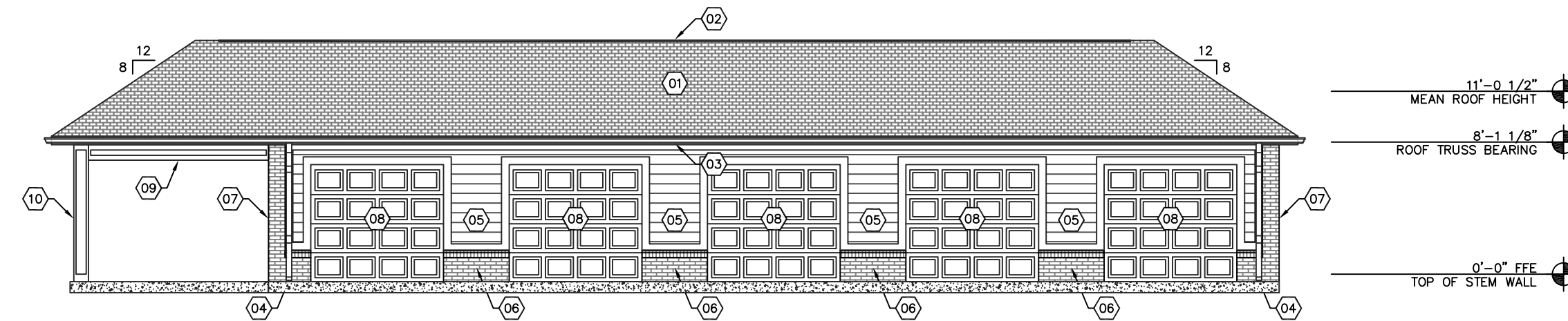
B3.G.1



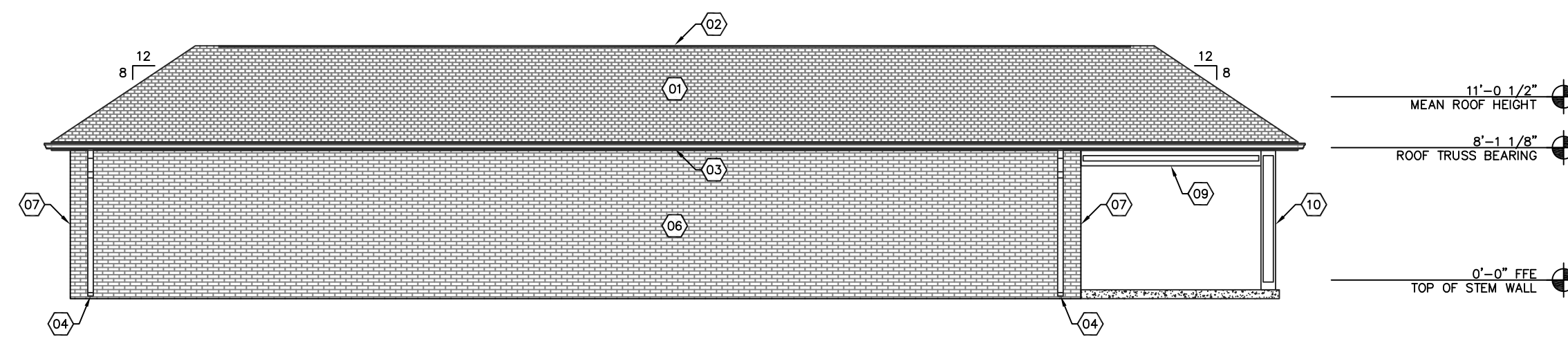
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Preliminary - Subject to Change

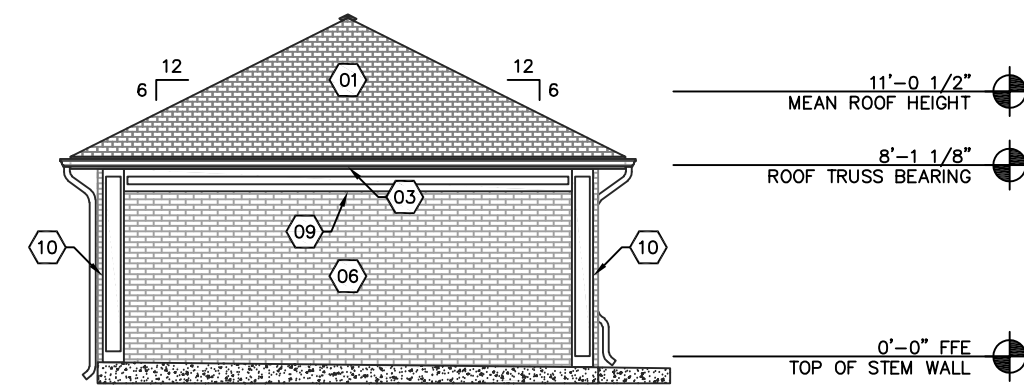
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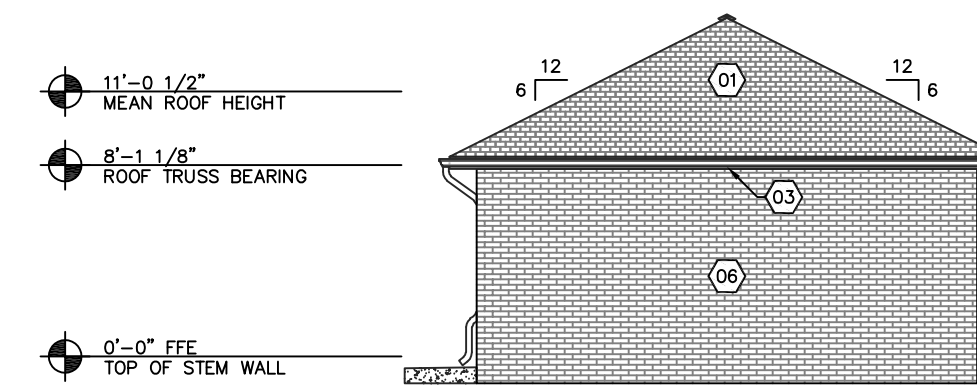
1 FRONT ELEVATION - GARAGE 2
1/8" = 1'



2 REAR ELEVATION - GARAGE 2
1/8" = 1'



3 LEFT SIDE ELEVATION - GARAGE 2
1/8" = 1'



4 RIGHT SIDE ELEVATION - GARAGE 2
1/8" = 1'

NOT USED

NOT USED

ELEVATION MATERIAL KEY:

- 01 25 YEAR ARCHITECTURAL SHINGLES OVER #15 ROOFING FELT
- 02 ATTIC VENT - CONTINUOUS RIDGE VENT - SEE BUILDING ROOF PLANS
- 03 PRE-FINISHED 5" SEAMLESS GUTTER OVER 6" FIBER CEMENT FACIA BOARD
- 04 PRE-FINISHED 4"x3" ALUMINUM DOWNSPOUT
- 05 FIBER CEMENT LAP SIDING W/ 7" EXPOSURE & 6" FIBER CEMENT TRIM AT SILL, FRIEZE BOARD, WALL CORNERS, & CLADDING TRANSITIONS
- 06 BRICK VENEER W/ SLOPED ROWLOCK SILL AT CLADDING TRANSITIONS & WINDOW SILLS
- 07 FULL WALL HEIGHT BRICK VENEER ACCENT CORNER COLUMNS - 11 1/2" WIDE FACE OF WALL CORNER AS SHOWN
- 08 ALUMINUM GARAGE DOOR W/ 6" FIBER CEMENT TRIM
- 09 FIBER CEMENT WRAPPED BEAM
- 10 FIBER CEMENT WRAPPED PRESSURE TREATED 6x6 COLUMN

ELEVATION MATERIAL KEY NOTES:

1. G.C. TO COORDINATE WITH OWNER FOR COLOR AND FINISH FOR ALL EXTERIOR CLADDING AND FEATURES.

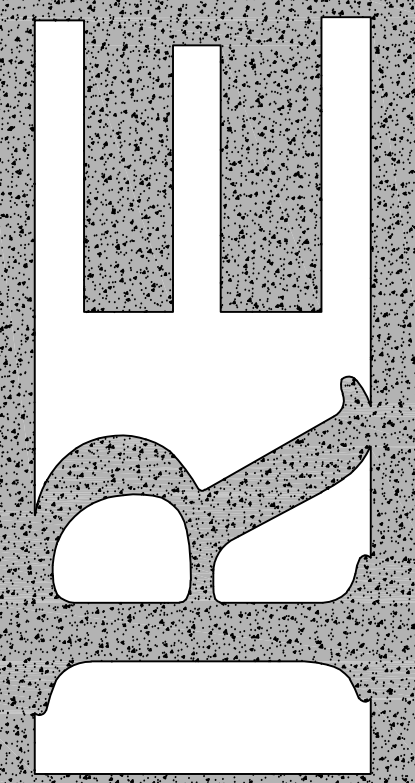
REVISIONS

PROJECT	1810
DATE	10-5-18
DRAWN BY	JAD

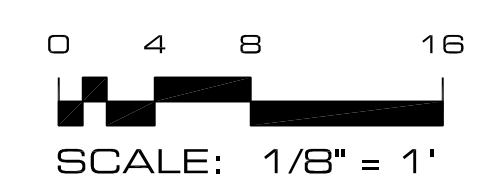


COMET BERMUDA RUN - GARAGE
 PARCEL: C80000177 (PART)
 FARMINGTON TOWNSHIP - BERMUDA RUN
 DAVIE COUNTY, NORTH CAROLINA
 GARAGE 2 ELEVATIONS - FRONT, REAR, & SIDES

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 401 East Fourth Street, Suite 201
 Winston-Salem, North Carolina 27101-4171
 www.rehabeng.com
 office 336 714-8935
 fax 336 722-9872



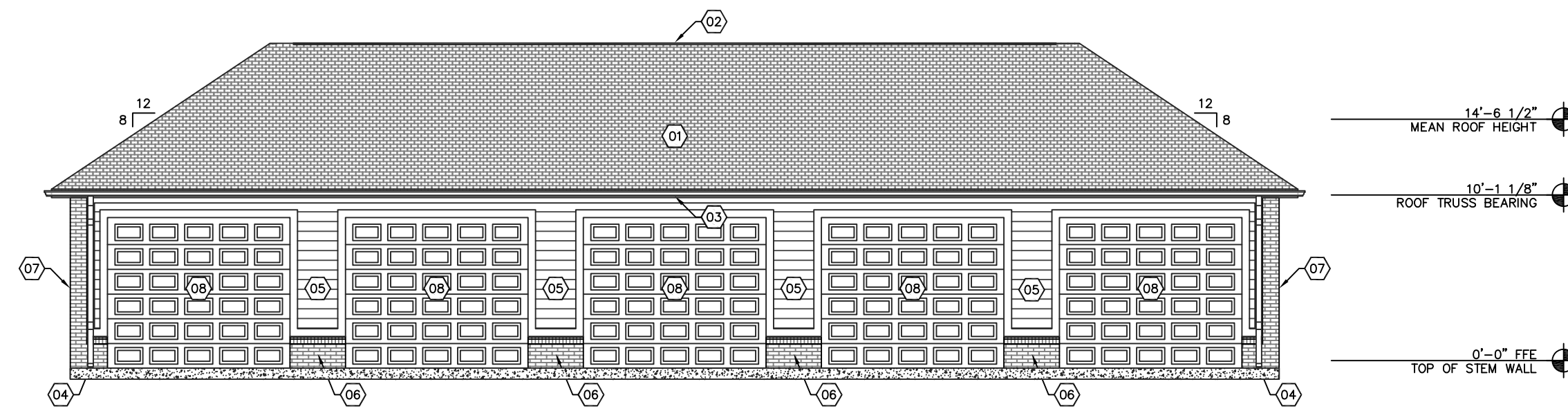
B3.G.2



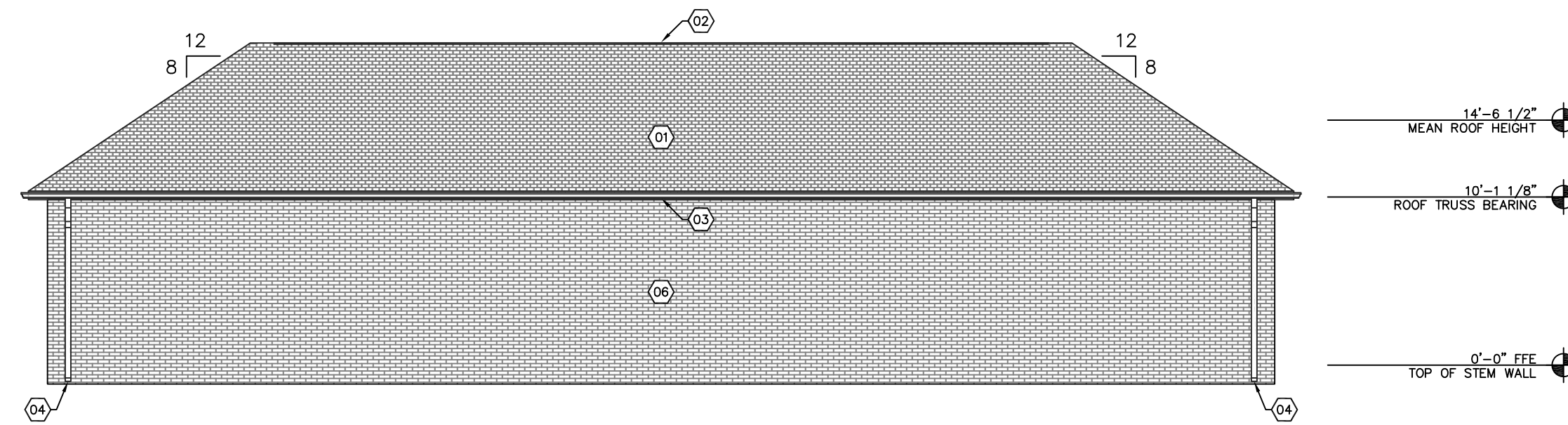
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Preliminary- Subject to Change

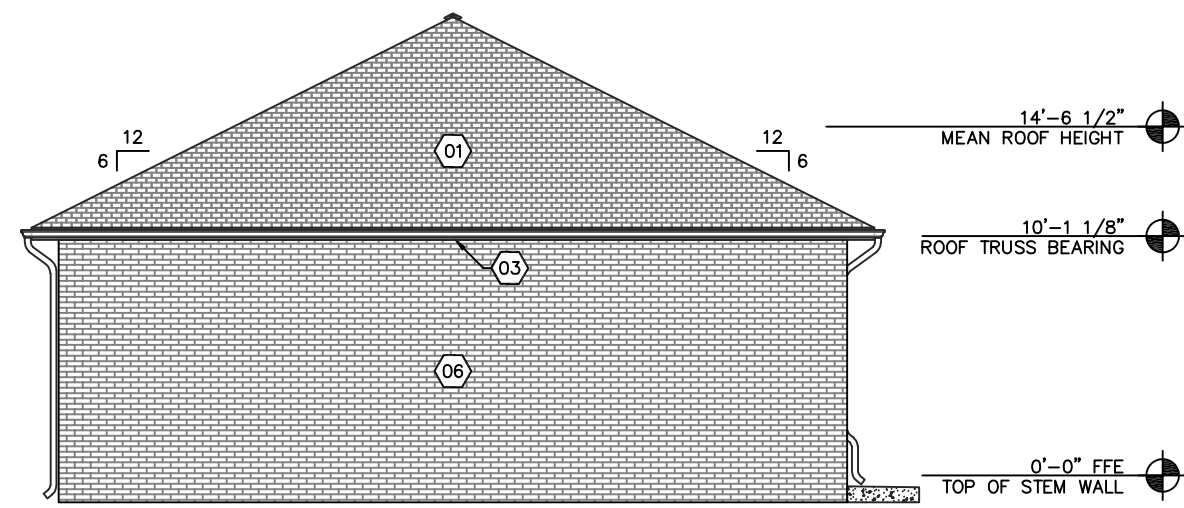
NOT USED



1 FRONT ELEVATION - GARAGE 3
1/8" = 1'



2 REAR ELEVATION - GARAGE 3
1/8" = 1'



3 LEFT SIDE ELEVATION - GARAGE 3
1/8" = 1'
BOTH SIDES SIMILAR

NOT USED

NOT USED

NOT USED

ELEVATION MATERIAL KEY:

- 01 25 YEAR ARCHITECTURAL SHINGLES OVER #15 ROOFING FELT
- 02 ATTIC VENT - CONTINUOUS RIDGE VENT - SEE BUILDING ROOF PLANS
- 03 PRE-FINISHED 5" SEAMLESS GUTTER OVER 6" FIBER CEMENT FACIA BOARD
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- 06 BRICK VENEER W/ SLOPED ROWLOCK SILL AT CLADDING TRANSITIONS & WINDOW SILLS
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- 10 FIBER CEMENT WRAPPED PRESSURE TREATED 6x6 COLUMN

ELEVATION MATERIAL KEY NOTES:

1. G.C. TO COORDINATE WITH OWNER FOR COLOR AND FINISH FOR ALL EXTERIOR CLADDING AND FEATURES.

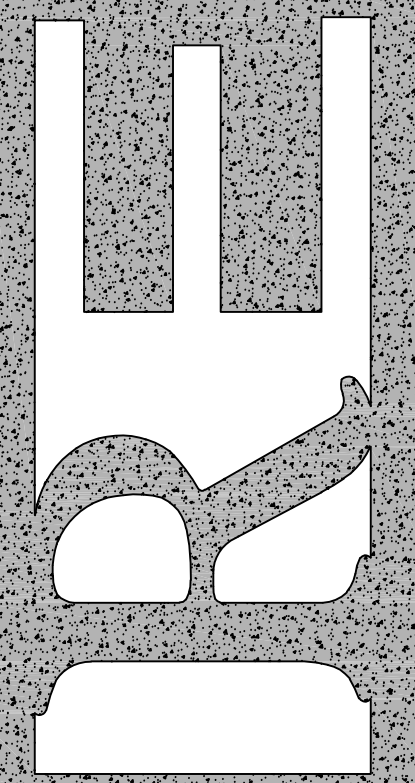
REVISIONS

PROJECT	1810
DATE	10-5-18
DRAWN BY	JAD

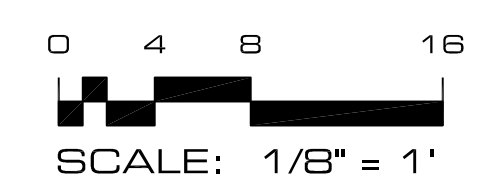


COMET BERMUDA RUN - GARAGE
 PARCEL: C80000177 (PART)
 FARMINGTON TOWNSHIP - BERMUDA RUN
 DAVIE COUNTY - NORTH CAROLINA
 GARAGE 3 ELEVATIONS - FRONT, REAR, & SIDE

Rehab ENGINEERING
 401 East Fourth Street, Suite 201
 Winston-Salem, North Carolina 27101-4171
 www.rehabeng.com
 office 336 714-8935
 fax 336 722-9872

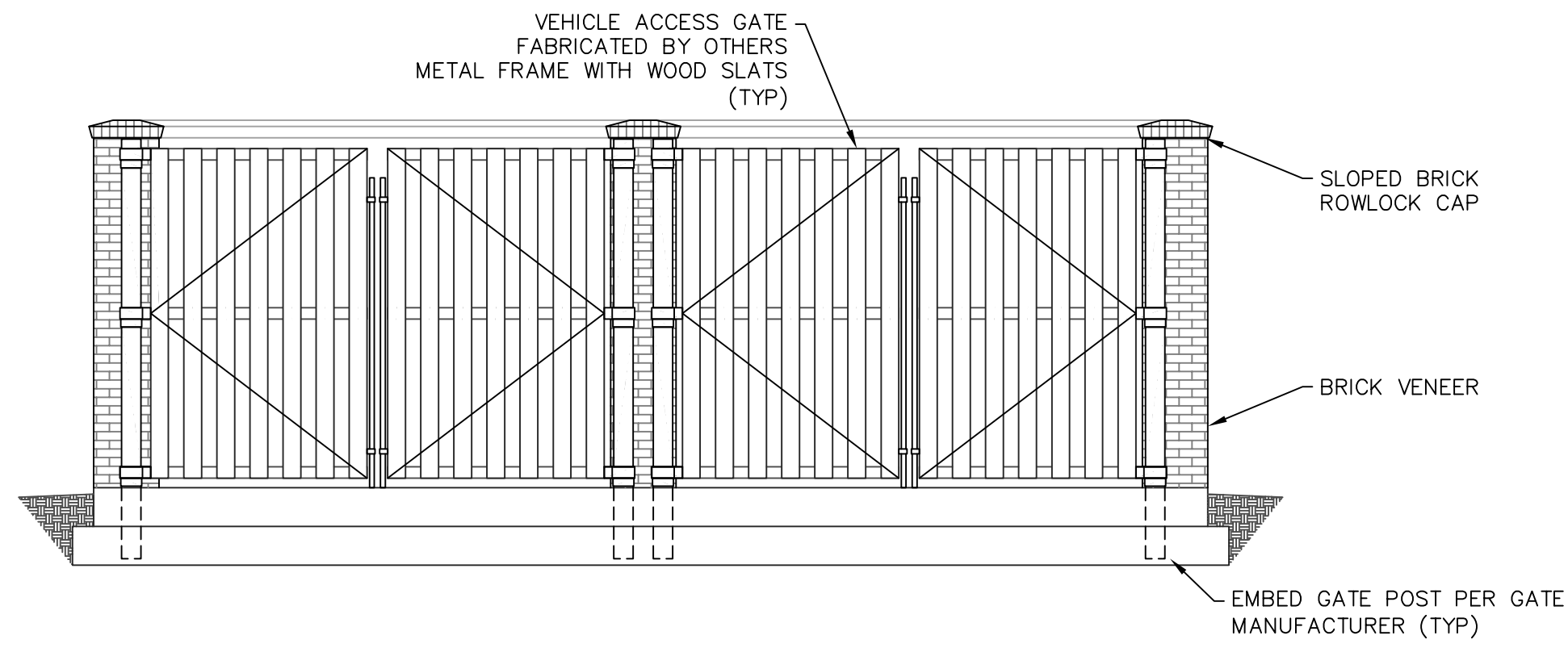


B3.G.3

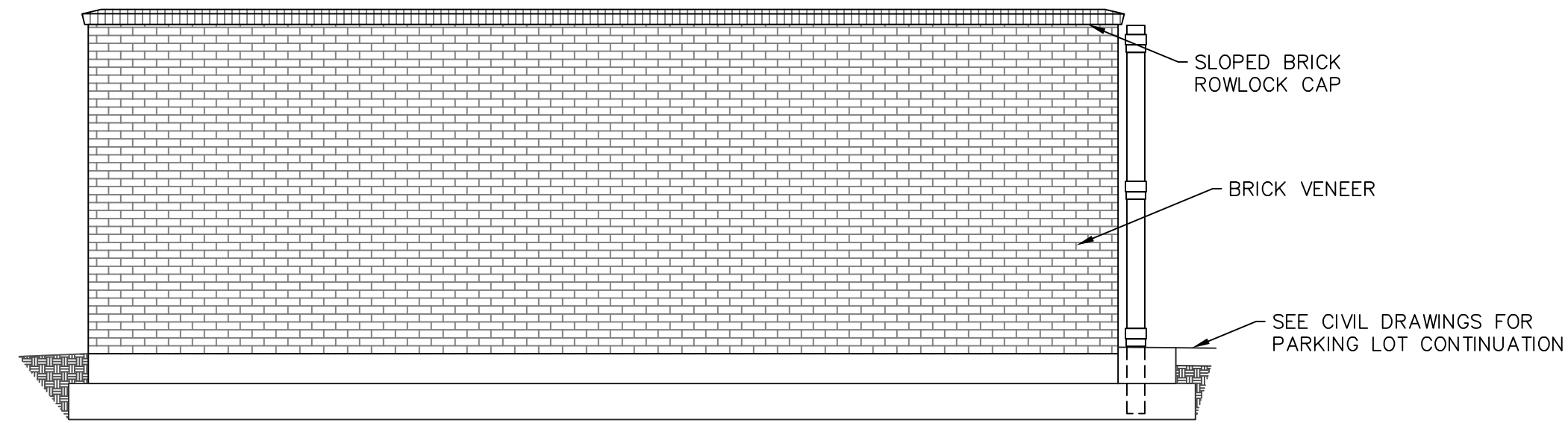


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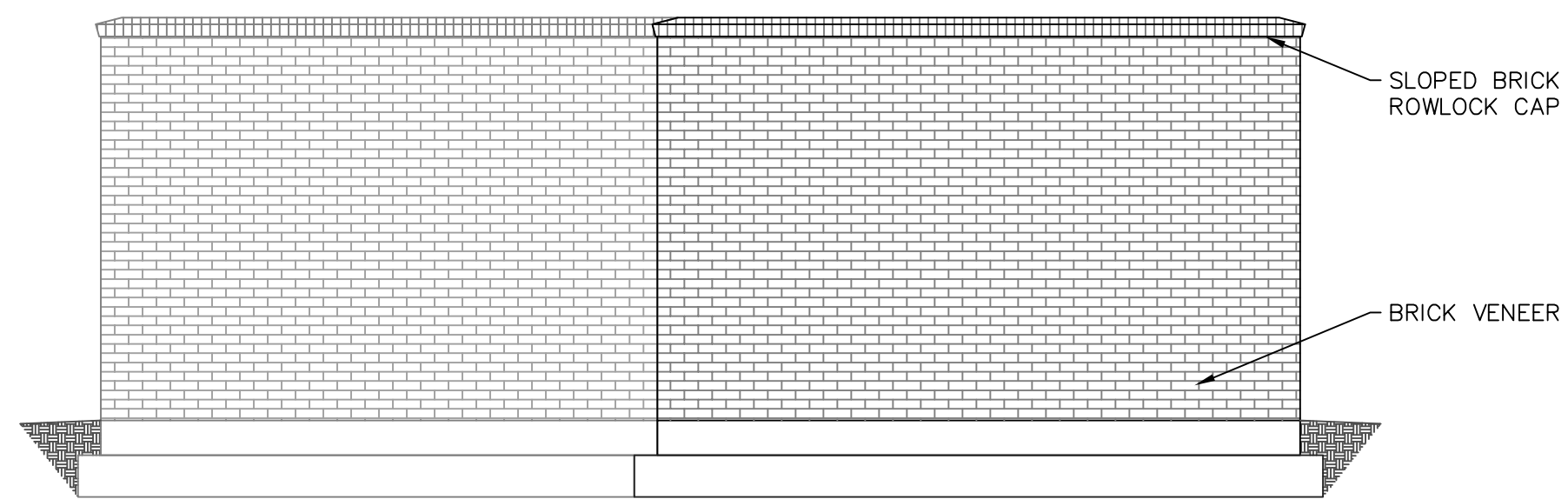
Preliminary- Subject to Change



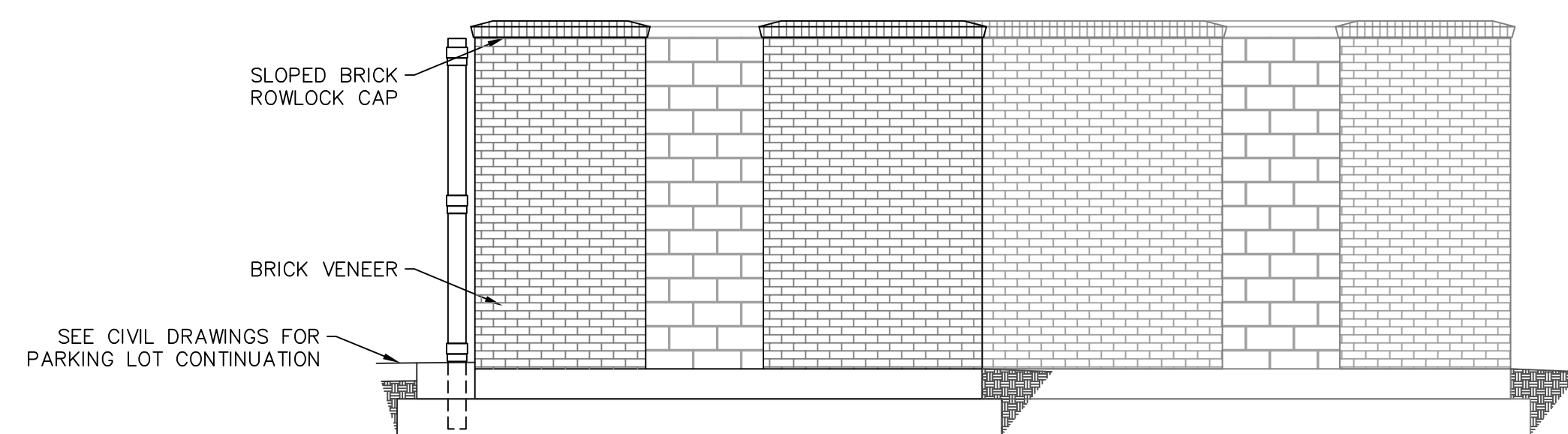
1 TRASH COMPACTOR ENCLOSURE FRONT ELEVATION
1/4" = 1'



2 TRASH COMPACTOR ENCLOSURE LEFT SIDE ELEVATION
1/4" = 1'



3 TRASH COMPACTOR ENCLOSURE REAR ELEVATION
1/4" = 1'

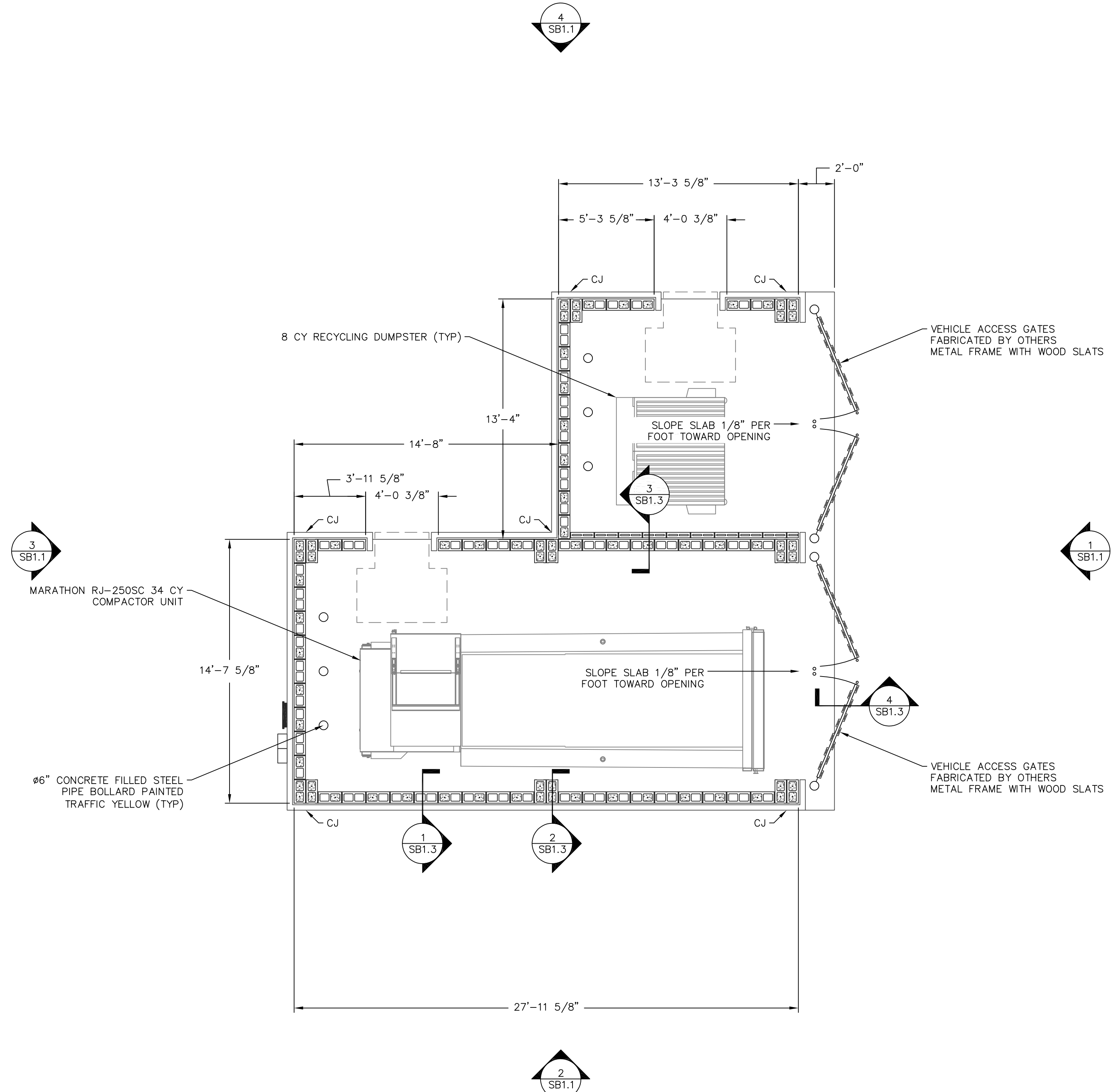


4 TRASH COMPACTOR ENCLOSURE RIGHT SIDE ELEVATION
1/4" = 1'

NOT USED

NOTES (THIS SHEET ONLY):

1. SLOPE SLAB BENEATH COMPACTOR TO FLOOR DRAIN. SEE SHEET SB1.3
2. REFERENCE CIVIL DRAWINGS FOR TRASH ENCLOSURE LOCATION AND SIDEWALK ACCESS.
3. G.C. TO COORDINATE WITH OWNER FOR COLOR AND FINISH FOR ALL EXTERIOR CLADDING AND FEATURES.
4. CJ: BRICK VENEER CONTROL JOINT CONTINUOUS 3/8" VERTICAL JOINT W/ BACKER ROD & CAULK



5 TRASH COMPACTOR ENCLOSURE PLAN
1/4" = 1'

REVISIONS

PROJECT	1810
DATE	10-5-18
DRAWN BY	JAD



COMET BERMUDA RUN - SITE
PARCEL: C80000177 (PART)
FARMINGTON TOWNSHIP - BERMUDA RUN
DAVIE COUNTY - NORTH CAROLINA
TRASH COMPACTOR ENCLOSURE
PLAN & ELEVATIONS

Rehab ENGINEERING
401 East Fourth Street, Suite 201
Winston-Salem, North Carolina 27101-4171
www.rehab-eng.com
office 336 714-8935
fax 336 722-9872

RELEASED FOR CONSTRUCTION

SB1.1



Preliminary - Subject to Change



Highway 49 Retail Shops

City of Concord

Cabarrus County, North Carolina





1 BUILDING TYPE 56 - FRONT ELEVATION
 1/8" = 1'

Preliminary- Subject to Change





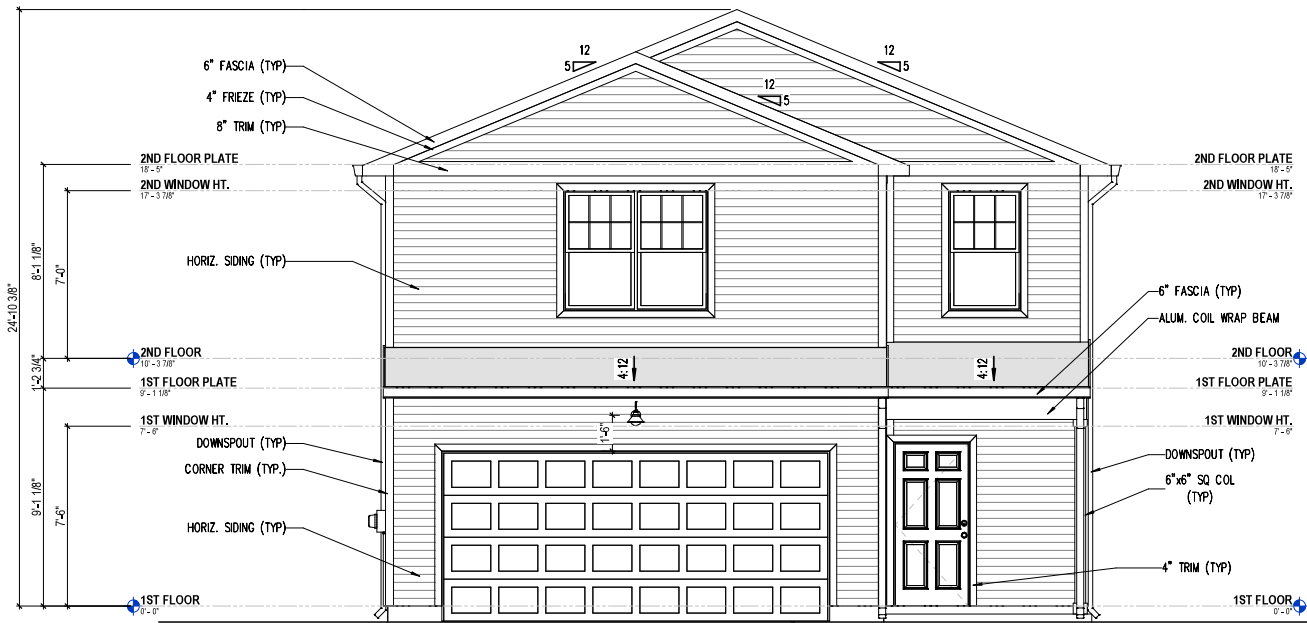
COMET
WESTGATE

PRODUCT MANAGER	
CURRENT RELEASE	DATE: 02/19/20
REV#	DATE/DESCRIPTION
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE
 Single Family

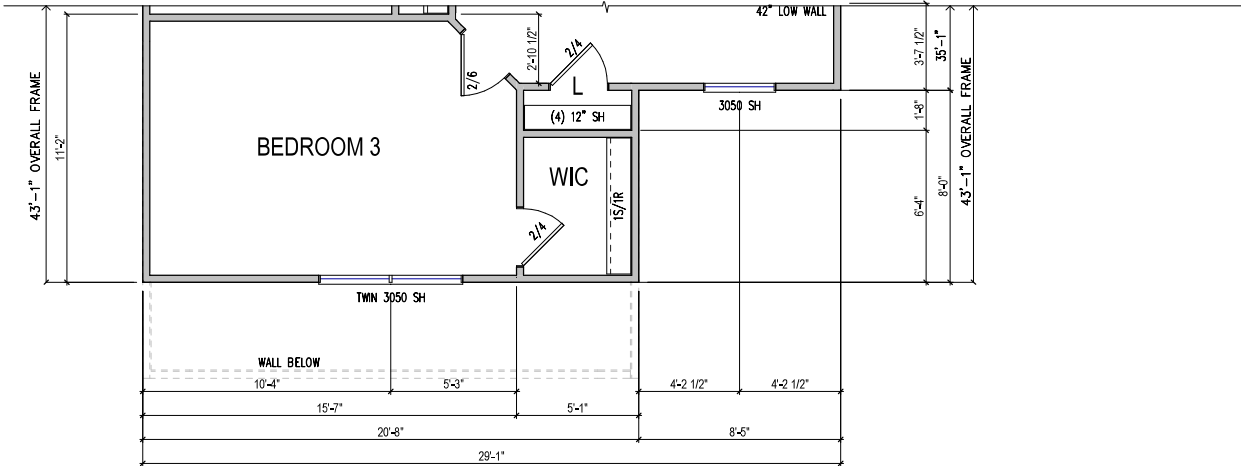
PLAN NAME
 Oriole
 NPC NUMBER
 2770.700

SHEET
 A3-TR101-2F.01



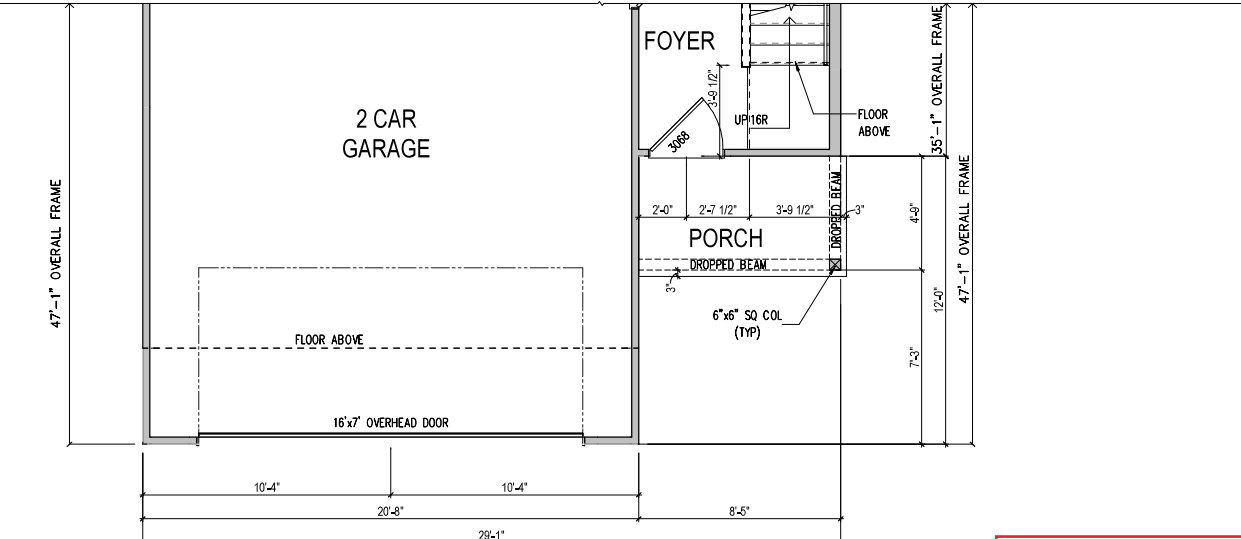
FRONT ELEVATION - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL SECOND FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION)
 W/ 40%-50% REQ. VENTS GREATER THAN OR EQUAL TO 3" ABOVE
 EAVE / CORNICE VENTS PER IRC R806.2

ELEVATION "TR101" 1186 SQ. FT. UNDER ROOF ATTIC /
 MAIN ROOF 300 SQ. FT. / 1 SQ. FT. = 3.95 SQ. FT. VENTILATION

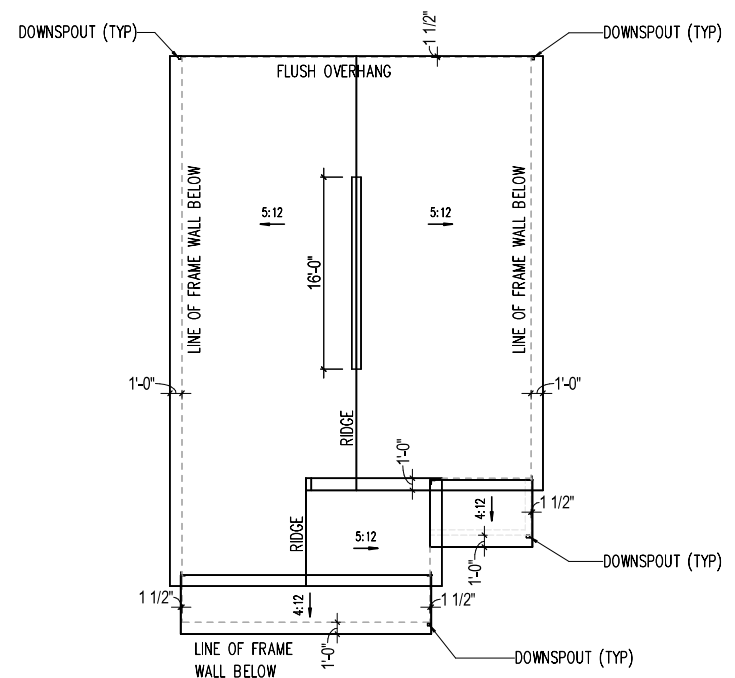
3.95 SQ. FT. x 50% = 1.977 SQ. FT. RIDGE, 3.95 SQ. FT. x 50% = 1.977 SQ. FT. SOFFIT

RIDGE VENT 18 SQ. IN. = (.125 SQ. FT.)
 BOX VENT 50 SQ. IN. = (.3472 SQ. FT.)
 SOFFIT VENT 9 SQ. IN. = (.0625 SQ. FT.)

OR W/ H.P. BOX VENT
 1.977 SQ. FT. = 15.8 FEET OF RIDGE VENT 1.977 SQ. FT. = 5.7 BOX VENT(S)
 0.125 SQ. FT. 0.3472 SQ. FT.

SOFFIT VENT
 1.977 SQ. FT. = 31.6 FEET OF SOFFIT VENT
 0.0625 SQ. FT.

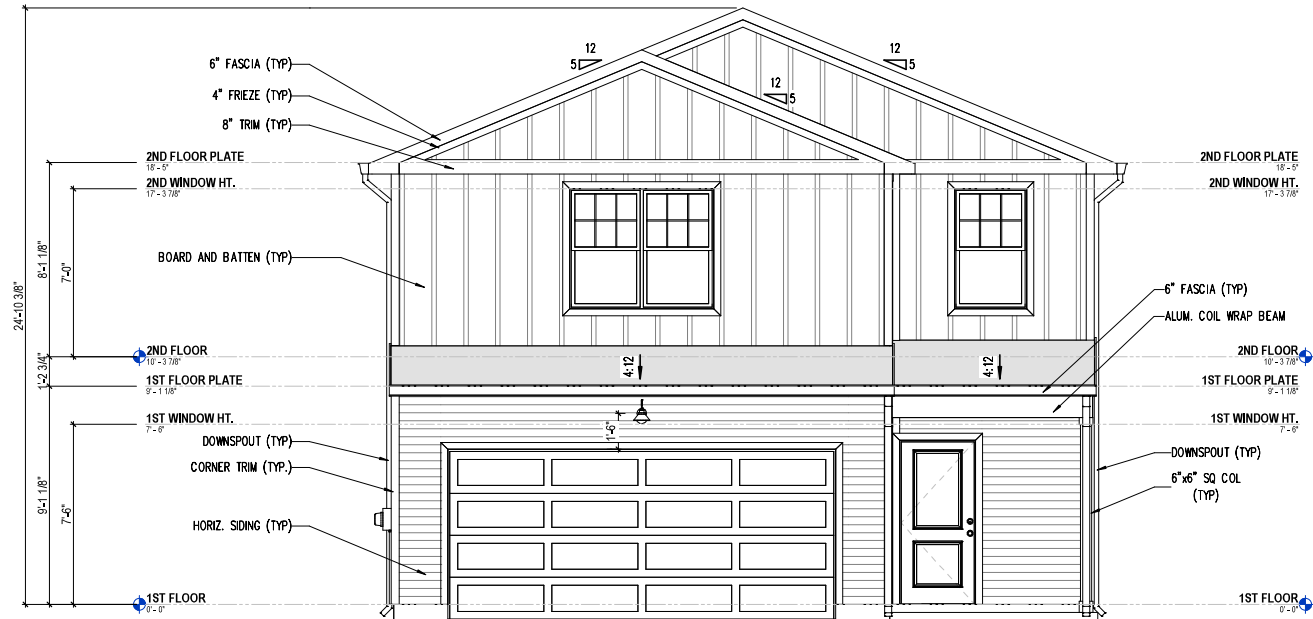
*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



ROOF PLAN - TR101

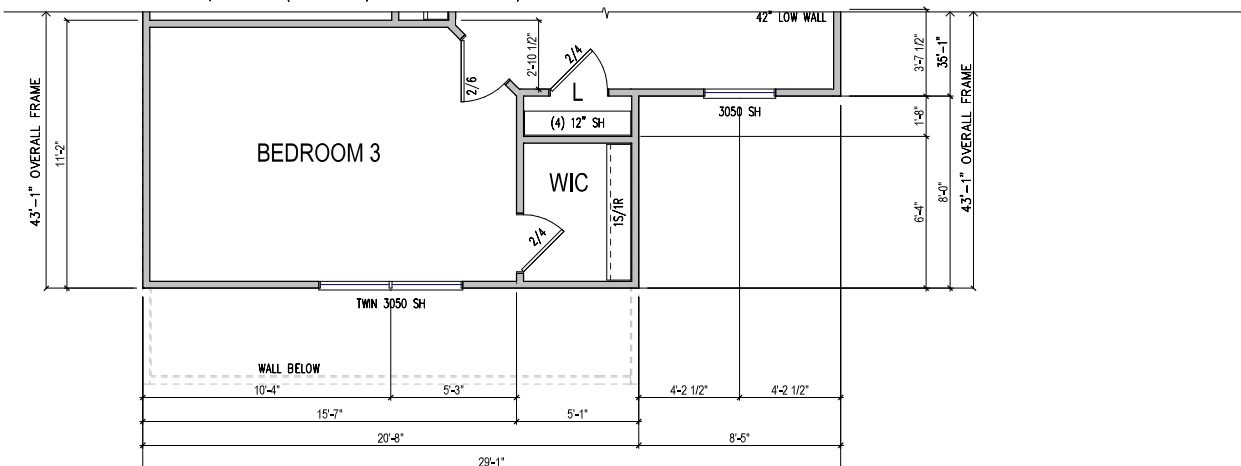
SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change



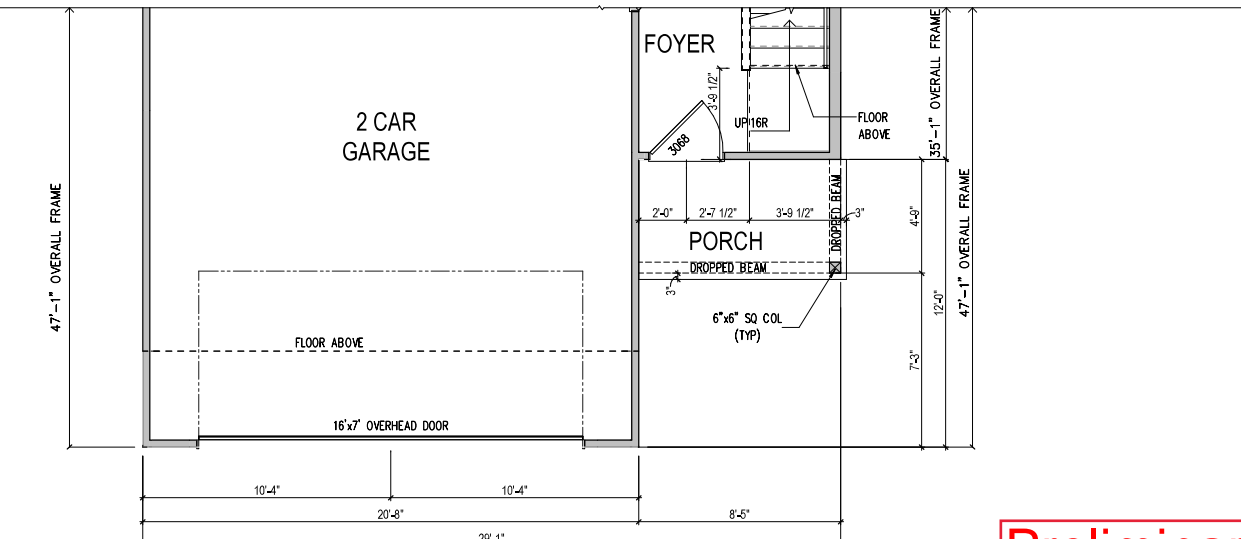
FRONT ELEVATION - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL SECOND FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION)
 W/ 40%-50% REQ. VENTS GREATER THAN OR EQUAL TO 3" ABOVE
 EAVE / CORNICE VENTS PER IRC R806.2

ELEVATION "TR102" 1186 SQ. FT. UNDER ROOF ATTIC /
 MAIN ROOF 300 SQ. FT. / 1 SQ. FT. = 3.95 SQ. FT. VENTILATION

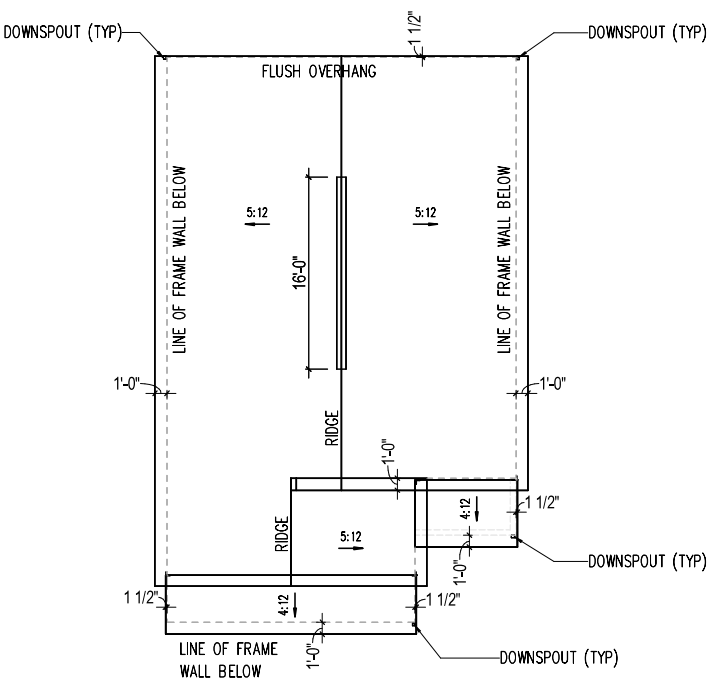
RODGE VENT 18 SQ. IN. = (.125 SQ. FT.)
 BOX VENT 50 SQ. IN. = (.3472 SQ. FT.)
 SOFFIT VENT 9 SQ. IN. = (.0625 SQ. FT.)

3.95 SQ. FT. x 50% = 1.977 SQ. FT. RIDGE, 3.95 SQ. FT. x 50% = 1.977 SQ. FT. SOFFIT

OR W/ H.P. BOX VENT
 1.977 SQ. FT. = 15.8 FEET OF RIDGE VENT 1.977 SQ. FT. = 5.7 BOX VENT(S)
 0.125 SQ. FT. 0.3472 SQ. FT.

SOFFIT VENT
 1.977 SQ. FT. = 31.6 FEET OF SOFFIT VENT
 0.0625 SQ. FT.

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



ROOF PLAN - TR102

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

PLOTTED: 4/6/2020 7:17:55 AM

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Southeast Zone
 2475 Northwinds Pkwy, Suite 600
 Alpharetta, GA. 30009 (770) 381-3450



ORIOLE
 TRADITIONAL ELEVATION - TR102

PRODUCT MANAGER	
CURRENT RELEASE DATE: 02/19/20	
REV#	DATE/DESCRIPTION

PROJECT TYPE
 Single Family

SPECIFICATION LEVEL

PLAN NAME
 Oriole
 NPC NUMBER
 2770.700

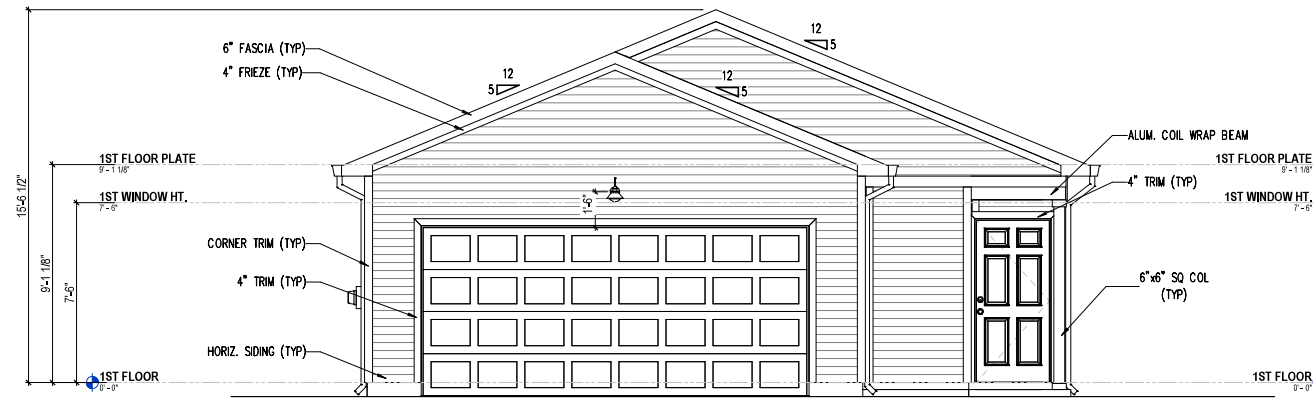
SHEET
 A3-TR102-2F.01

PRODUCT MANAGER	
CURRENT RELEASE DATE:	02/19/2020
REV	DATE/DESCRIPTION
△	
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PROJECT TYPE	Single Family
SPECIFICATION LEVEL	

PLAN NAME	Goldcrest
NPC NUMBER	2792.700

SHEET	A3-TR101-2F.01
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FRONT ELEVATION - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION)
 W/ 40%-50% REQ. VENTS GREATER THAN OR EQUAL TO 3" ABOVE
 EAVE / CORNICE VENTS PER IRC R806.2

ELEVATION "TR101" 1655 SQ. FT. UNDER ROOF ATTIC /
 GARAGE/ PORCH
 ROOF 300 SQ. FT. / 1 SQ. FT. = 5.52 SQ. FT. VENTILATION

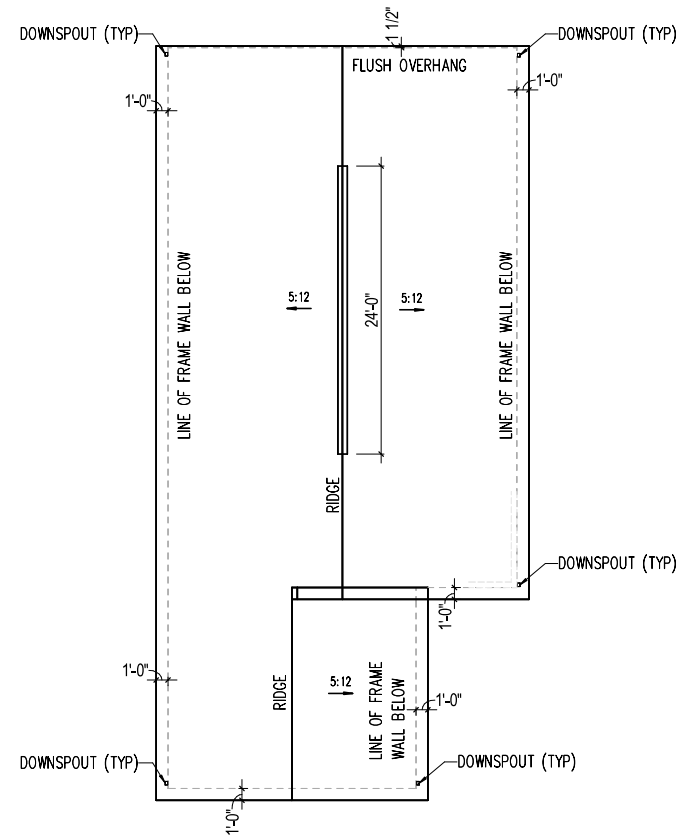
RIDGE VENT 18 SQ. IN. = (.125 SQ. FT.)
 BOX VENT 50 SQ. IN. = (.3472 SQ. FT.)
 SOFFIT VENT 9 SQ. IN. = (.0625 SQ. FT.)

5.52 SQ. FT. x 50% = 2.758 SQ. FT. RIDGE, 5.52 SQ. FT. x 50% = 2.758 SQ. FT. SOFFIT

RIDGE VENT OR W/IMP. BOX VENT
 2.758 SQ. FT. = 22.1 FEET OF RIDGE VENT 2.758 SQ. FT. = 7.9 BOX VENT(S)
 0.125 SQ. FT. 0.3472 SQ. FT.

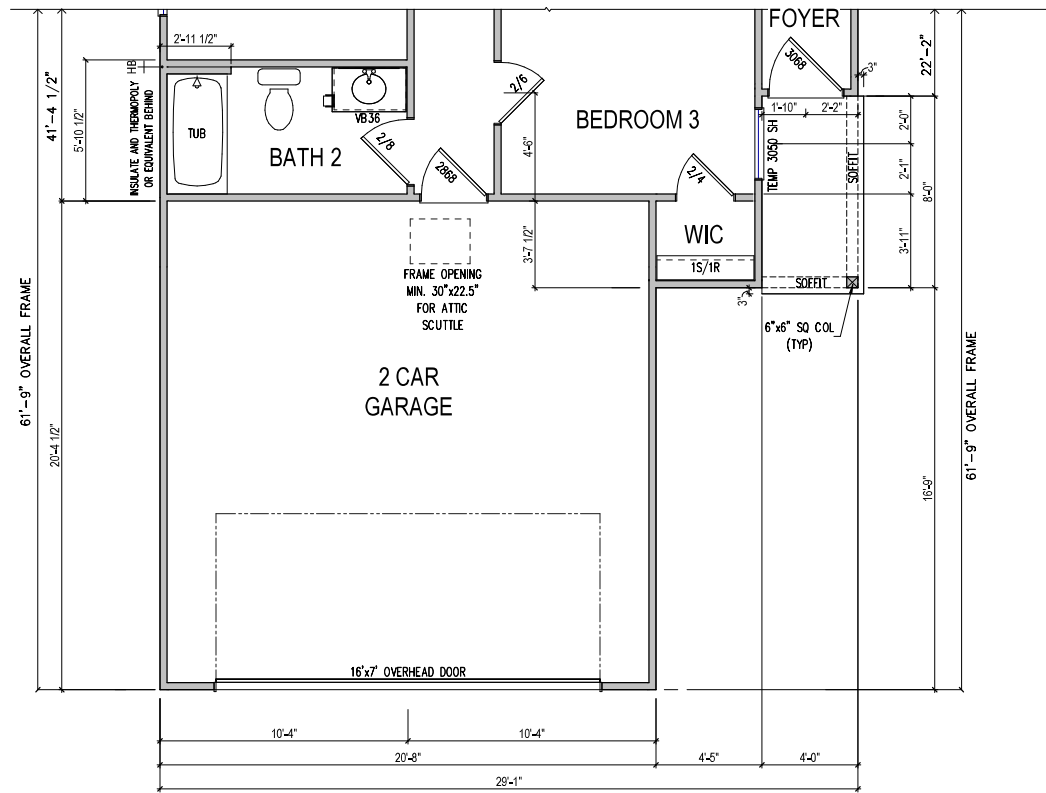
SOFFIT VENT
 2.758 SQ. FT. = 44.1 FEET OF SOFFIT VENT
 0.0625 SQ. FT.

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



ROOF PLAN - TR101

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

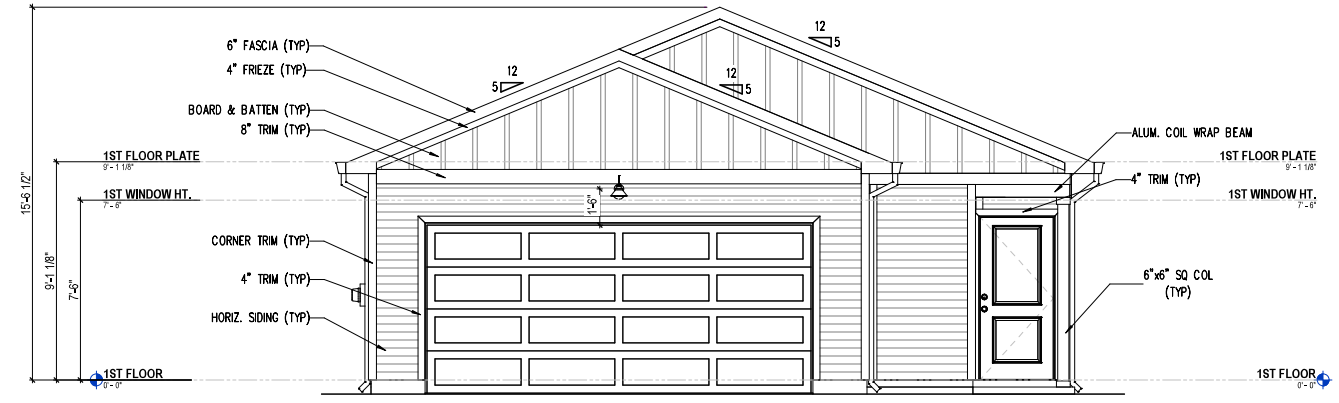
Preliminary- Subject to Change

PRODUCT MANAGER	
CURRENT RELEASE DATE:	02/19/2020
REV	DATE/DESCRIPTION
△	
△	
△	
△	
△	
△	

PROJECT TYPE	Single Family
SPECIFICATION LEVEL	

PLAN NAME	Goldcrest
RPC NUMBER	2792.700

SHEET	A3-TR102-2F.01
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FRONT ELEVATION - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION)
 W/ 40%-50% RED. VENTS GREATER THAN OR EQUAL TO 3" ABOVE
 EAVE / CORNICE VENTS PER IRC R806.2

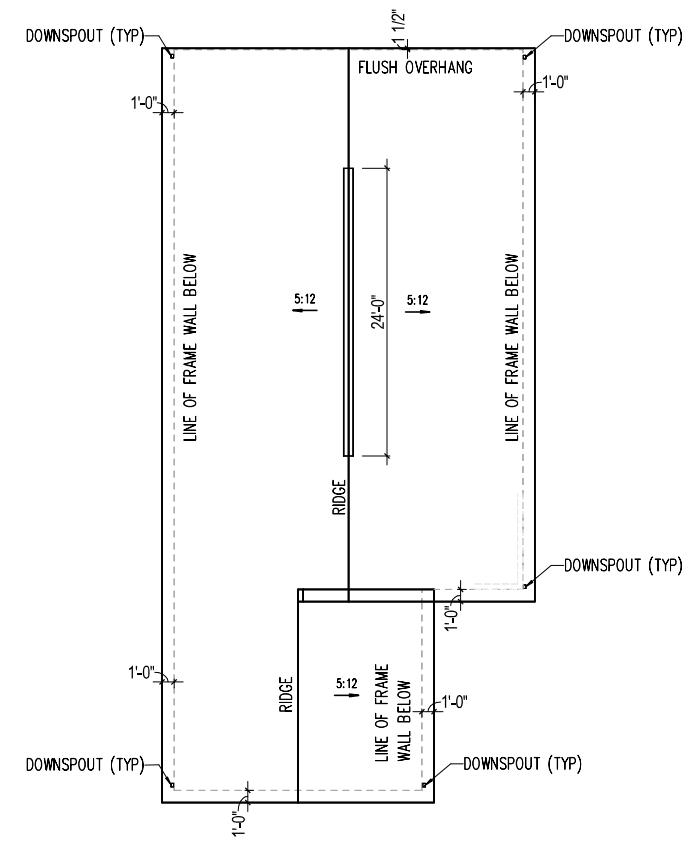
ELEVATION "TR102" 1655 SQ. FT. UNDER ROOF ATTIC /
 GARAGE / PORCH
 ROOF 300 SQ. FT. / 1 SQ. FT. = 5.52 SQ. FT. VENTILATION

5.52 SQ. FT. x 50% = 2.758 SQ. FT. RIDGE, 5.52 SQ. FT. x 50% = 2.758 SQ. FT. SOFFIT

RIDGE VENT OR W/ W.P. BOX VENT
 2.758 SQ. FT. = 22.1 FEET OF RIDGE VENT 2.758 SQ. FT. = 7.9 BOX VENT(S)
 0.125 SQ. FT. 0.3472 SQ. FT.

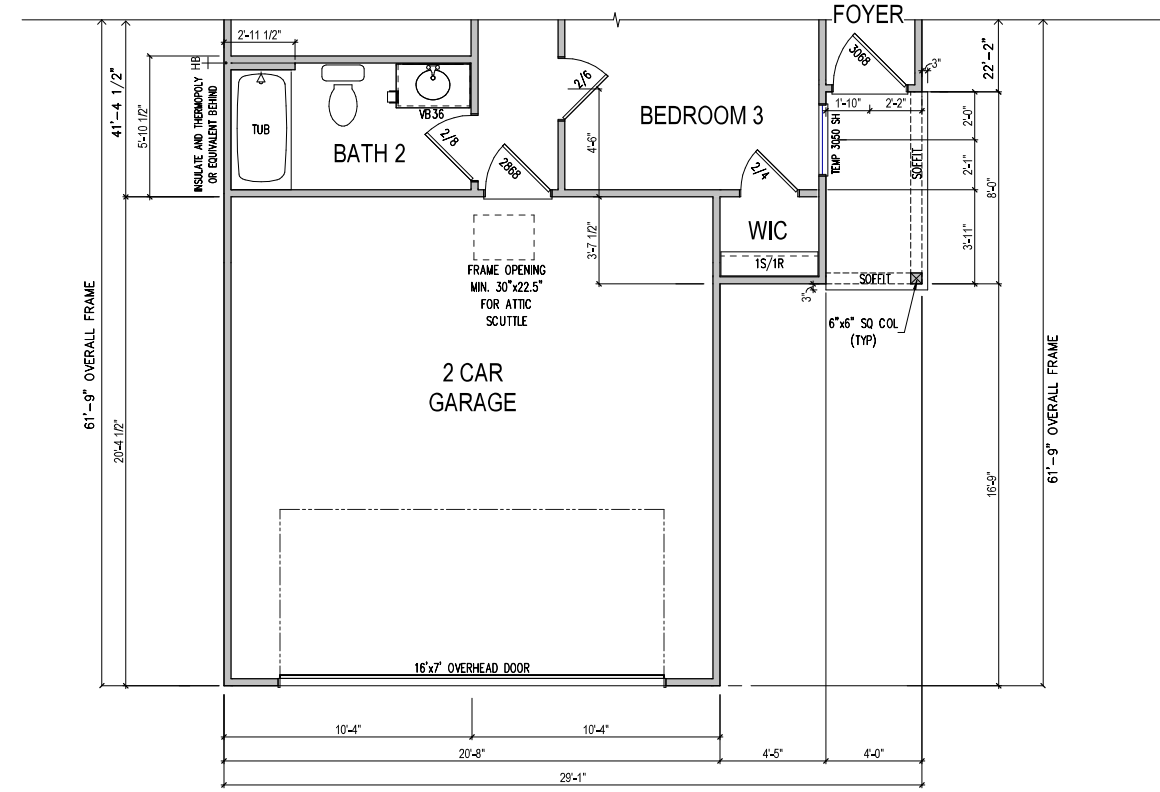
SOFFIT VENT
 2.758 SQ. FT. = 44.1 FEET OF SOFFIT VENT
 0.0625 SQ. FT.

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



ROOF PLAN - TR102

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

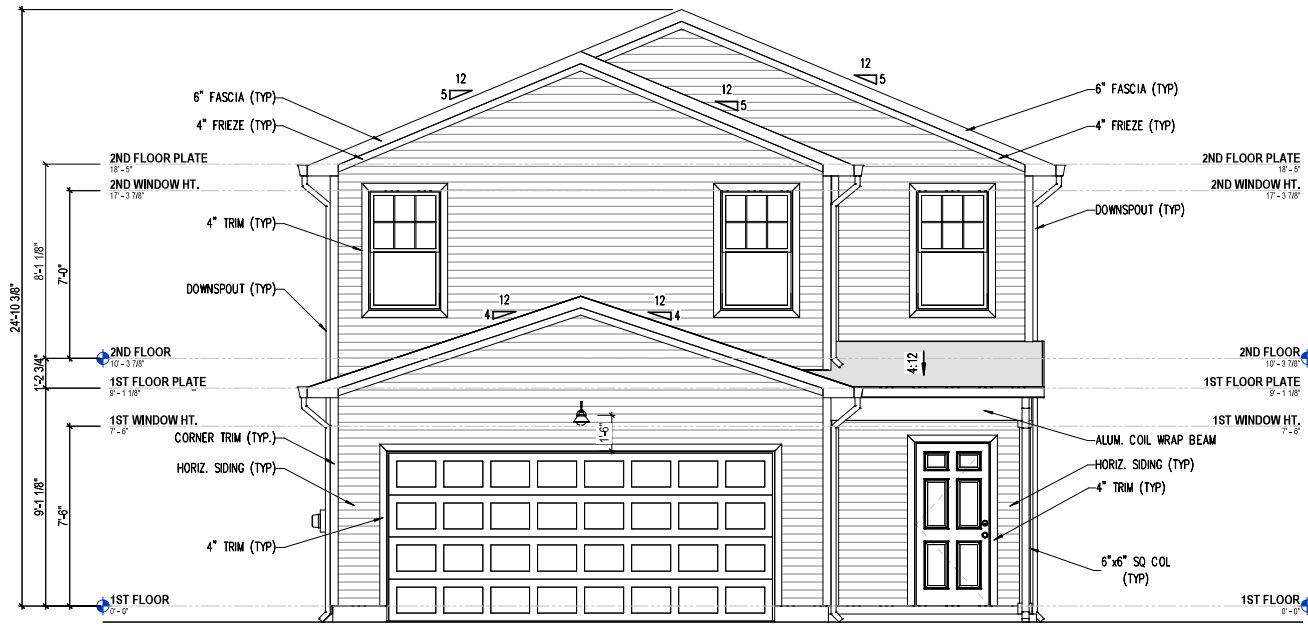
PRODUCT MANAGER	
CURRENT RELEASE	DATE: 01/22/20
REV	DATE/DESCRIPTION
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PROJECT TYPE
 Single Family

SPECIFICATION LEVEL

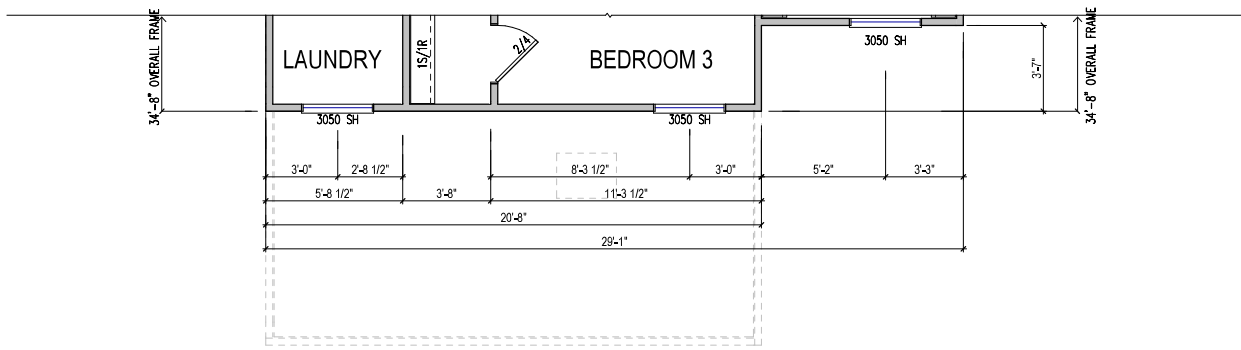
PLAN NAME
LONGSPUR
 NPC NUMBER
 2769.700

SHEET
A3-TR101-2F.01



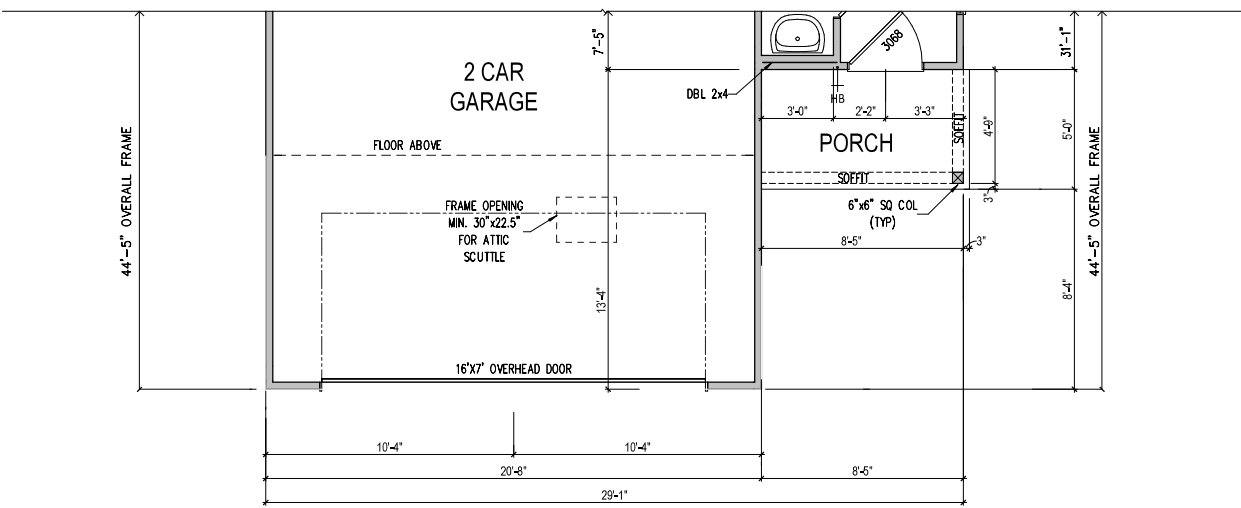
FRONT ELEVATION - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL SECOND FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION)
 W/ 40%-50% RED. VENTS GREATER THAN OR EQUAL TO 3" ABOVE
 EAVE / CORNICE VENTS PER IRC R806.2

ELEVATION "TR101" 978 SQ. FT. UNDER ROOF ATTIC /
 GARAGE/ PORCH
 ROOF 300 SQ. FT. / 1 SQ. FT. = 3.26 SQ. FT. VENTILATION

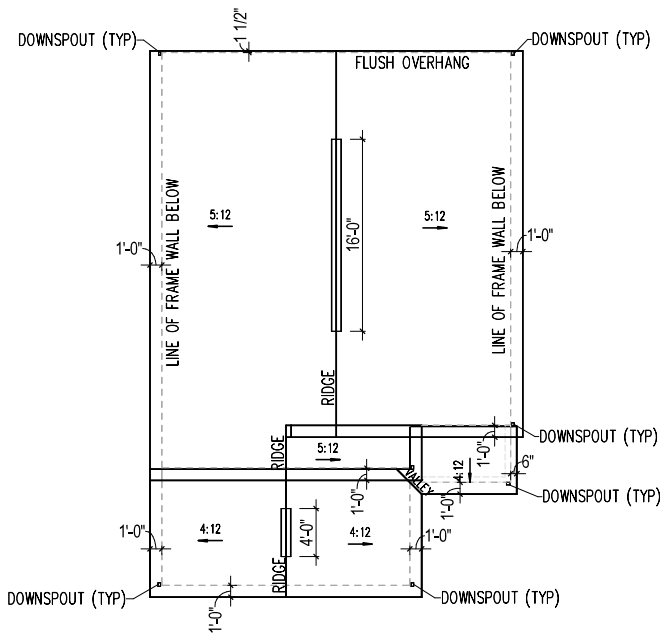
RIIDGE VENT 18 SQ. IN. = (125 SQ. FT.)
 BOX VENT 50 SQ. IN. = (3472 SQ. FT.)
 SOFFIT VENT 9 SQ. IN. = (0.625 SQ. FT.)

3.26 SQ. FT. x 50% = 1.630 SQ. FT. RIDGE, 3.26 SQ. FT. x 50% = 1.630 SQ. FT. SOFFIT

RIDGE VENT OR W/ H/P. BOX VENT
 1.630 SQ. FT. = 13.0 FEET OF RIDGE VENT 1.630 SQ. FT. = 4.7 BOX VENT(S)
 0.125 SQ. FT.

SOFFIT VENT
 1.630 SQ. FT. = 26.1 FEET OF SOFFIT VENT
 0.0625 SQ. FT.

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



ROOF PLAN - TR101

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

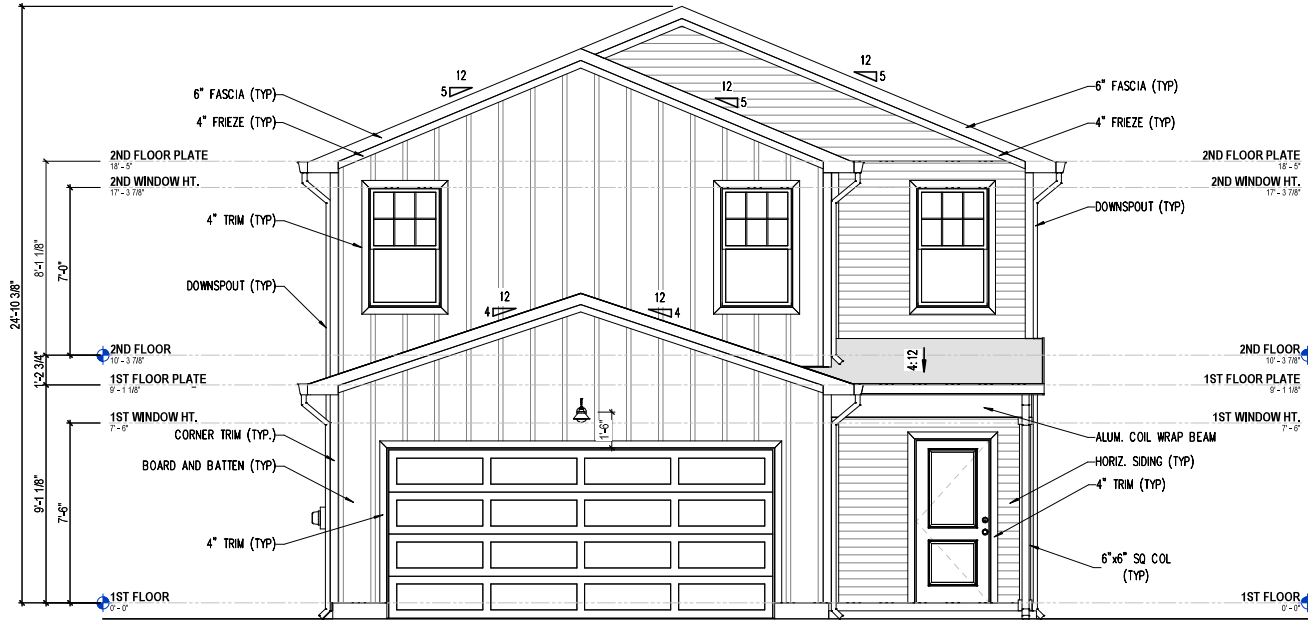
PRODUCT MANAGER	
CURRENT RELEASE	DATE: 01/22/20
REV	DATE/DESCRIPTION
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PROJECT TYPE
 Single Family

SPECIFICATION LEVEL

PLAN NAME
 LONGSPUR
 NPC NUMBER
 2769.700

SHEET
 A3-TR102-2F.01



FRONT ELEVATION - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION)
 W/ 40%-50% REQ. VENTS GREATER THAN OR EQUAL TO 3" ABOVE
 EAVE / CORNICE VENTS PER IRC R806.2

ELEVATION "TR102" 978 SQ. FT. UNDER ROOF ATTIC /
 GARAGE/ PORCH
 ROOF 300 SQ. FT. / 1 SQ. FT. = 3.26 SQ. FT. VENTILATION

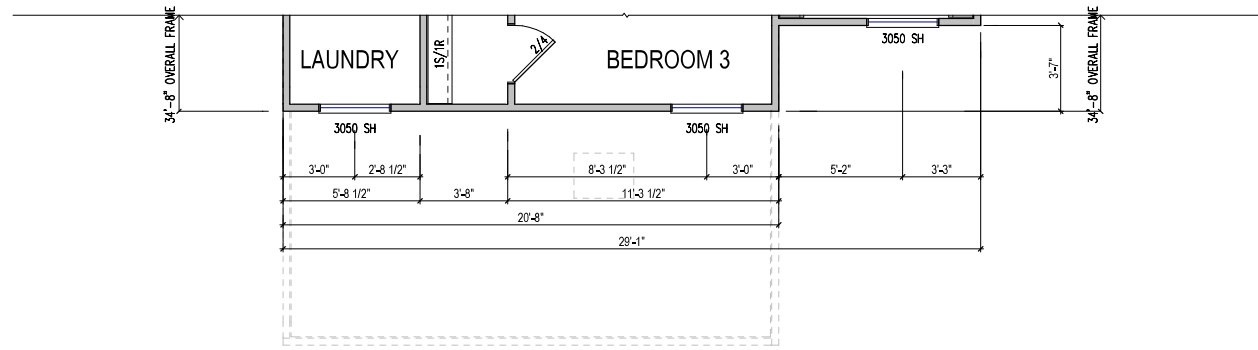
RISE VENT 18 SQ. IN. = (.125 SQ. FT.)
 BOX VENT 50 SQ. IN. = (.3472 SQ. FT.)
 SOFFIT VENT 9 SQ. IN. = (.0625 SQ. FT.)

3.26 SQ. FT. x 50% = 1.630 SQ. FT. RIDGE, 3.26 SQ. FT. x 50% = 1.630 SQ. FT. SOFFIT

RIDGE VENT 1.630 SQ. FT. = 13.0 FEET OF RIDGE VENT OR W/ H/P BOX VENT
 0.125 SQ. FT. 1.630 SQ. FT. = 4.7 BOX VENT(S)
 0.0625 SQ. FT. 0.3472 SQ. FT.

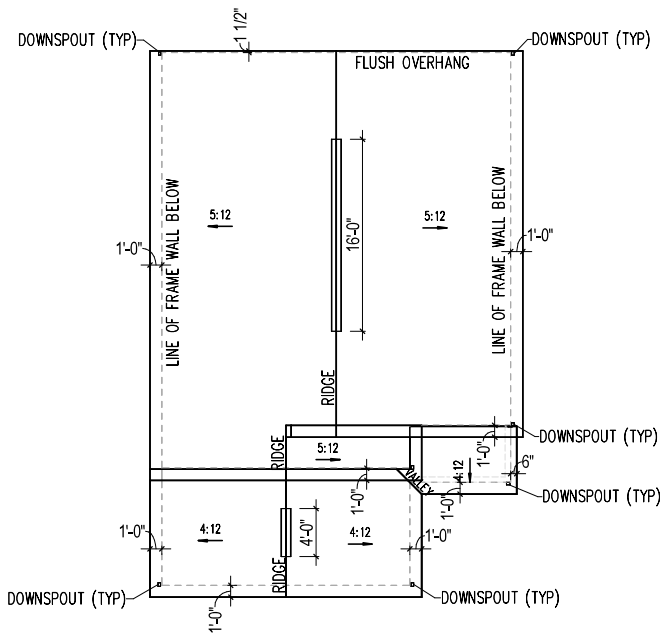
SOFFIT VENT 1.630 SQ. FT. = 26.1 FEET OF SOFFIT VENT
 0.0625 SQ. FT.

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



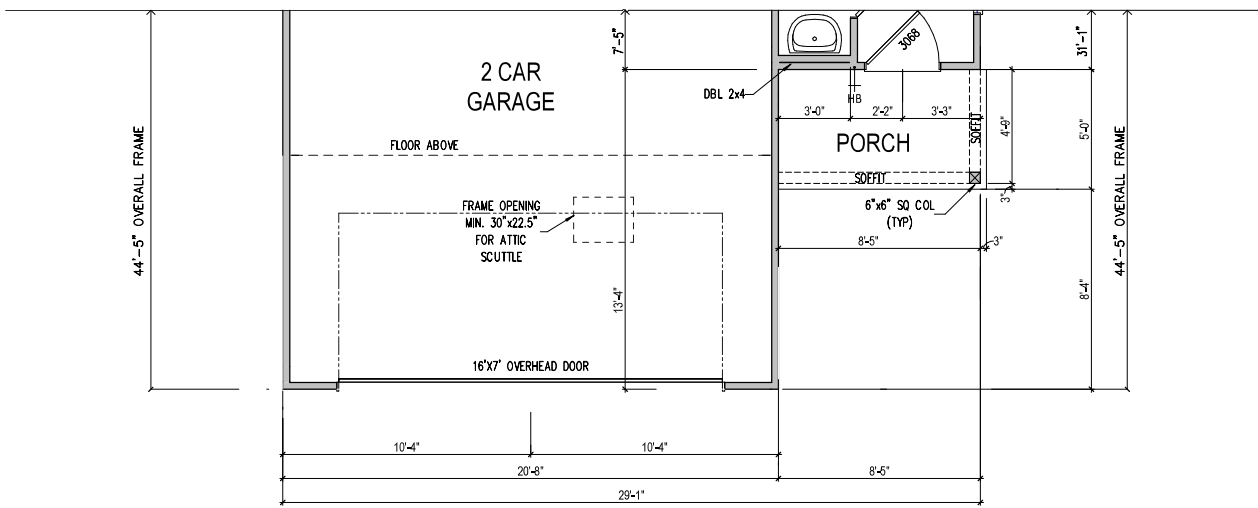
PARTIAL SECOND FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



ROOF PLAN - TR102

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION)
W/ 40%-50% REQ. VENTS GREATER THAN OR EQUAL TO 3" ABOVE
EAVE / CORNICE VENTS PER IRC R806.2

ELEVATION "TR101"
MAIN ROOF 1059 SQ. FT. UNDER ROOF ATTIC /
300 SQ. FT. / 1 SQ. FT. = 3.53 SQ. FT. VENTILATION

1.765 SQ. FT. = 14.1 FEET OF RIDGE VENT
0.125 SQ. FT. = 5.1 BOX VENT(S)

1.765 SQ. FT. = 28.2 FEET OF SOFFIT VENT
0.0625 SQ. FT.

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2

ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION)
W/ 40%-50% REQ. VENTS GREATER THAN OR EQUAL TO 3" ABOVE
EAVE / CORNICE VENTS PER IRC R806.2

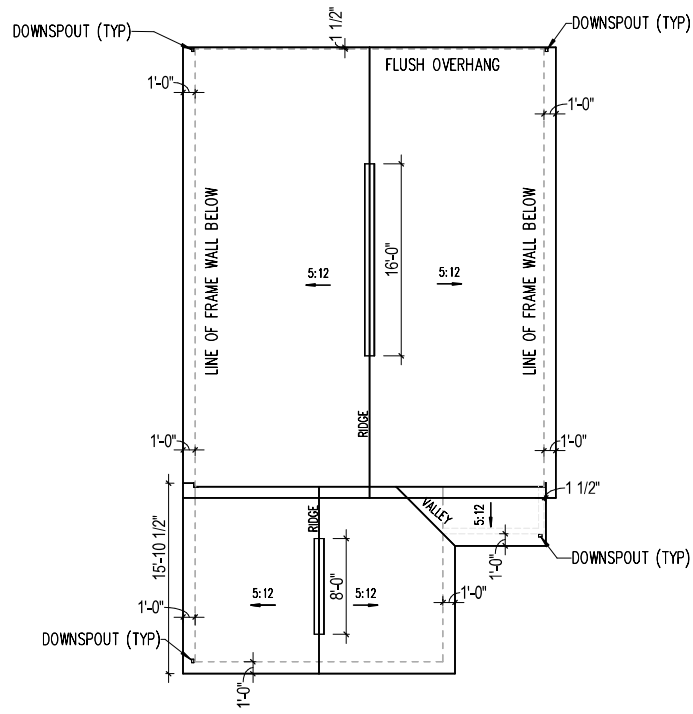
ELEVATION "TR101"
GARAGE / PORCH
ROOF 340 SQ. FT. UNDER ROOF ATTIC /
300 SQ. FT. / 1 SQ. FT. = 1.13 SQ. FT. VENTILATION

1.13 SQ. FT. x 50% = 0.567 SQ. FT. RIDGE, 1.13 SQ. FT. x 50% = 0.567 SQ. FT. SOFFIT

0.567 SQ. FT. = 4.5 FEET OF RIDGE VENT
0.125 SQ. FT. = 1.6 BOX VENT(S)

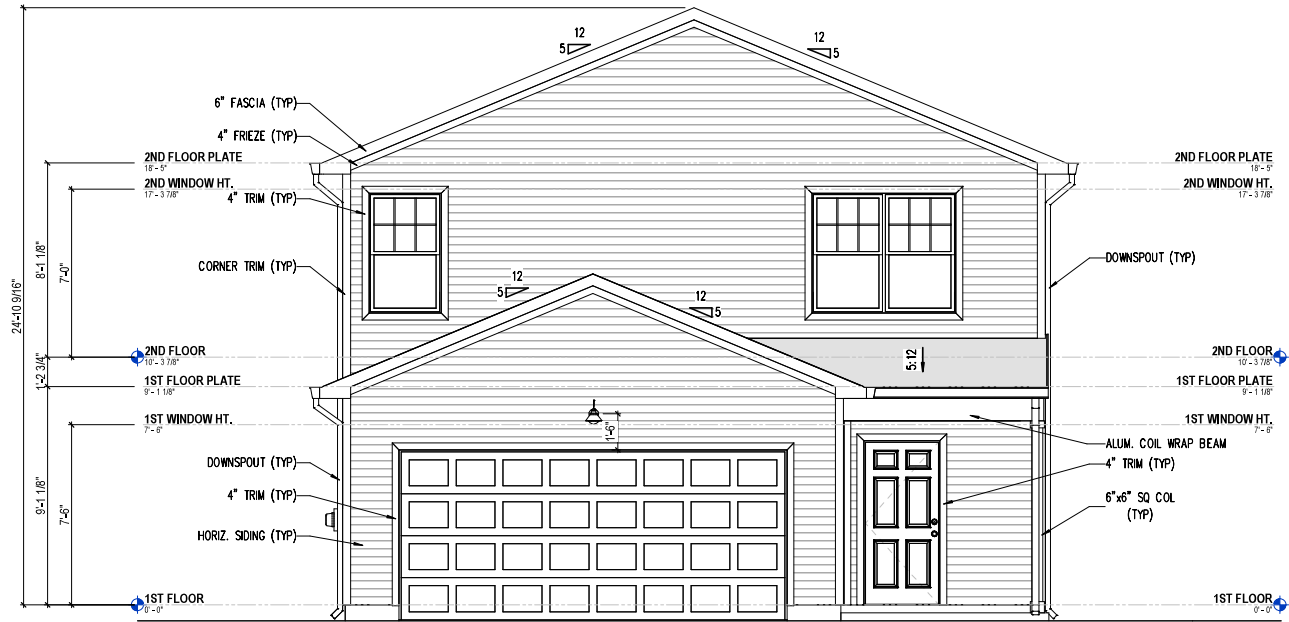
0.567 SQ. FT. = 9.1 FEET OF SOFFIT VENT
0.0625 SQ. FT.

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



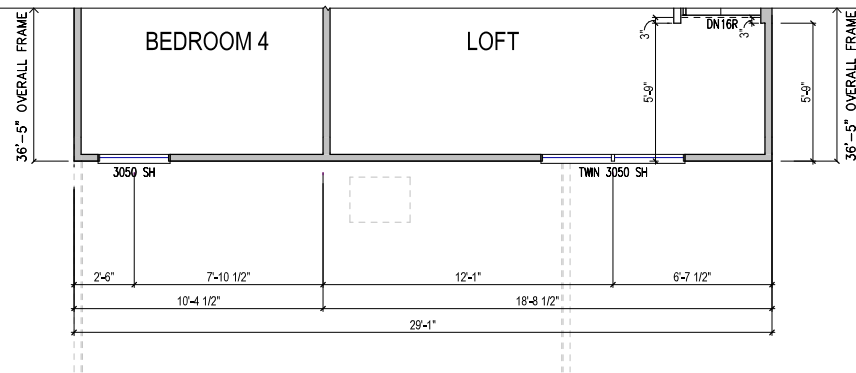
ROOF PLAN - TR101

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



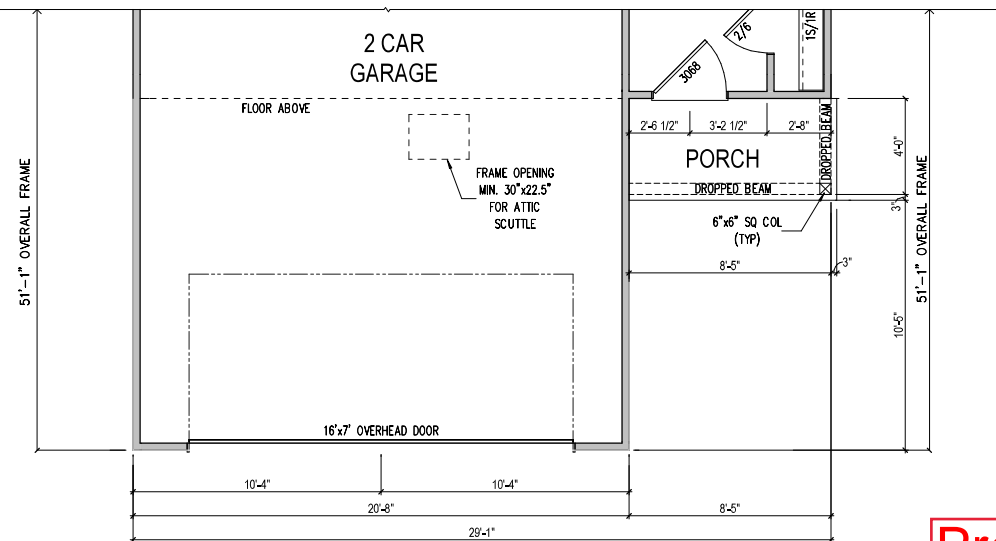
FRONT ELEVATION - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL SECOND FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR101

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

REV#	DATE/DESCRIPTION

PROJECT TYPE
Single Family

SPECIFICATION LEVEL

PLAN NAME
Raven
NPC NUMBER
2771.700

SHEET
A3-TR101-2F.01

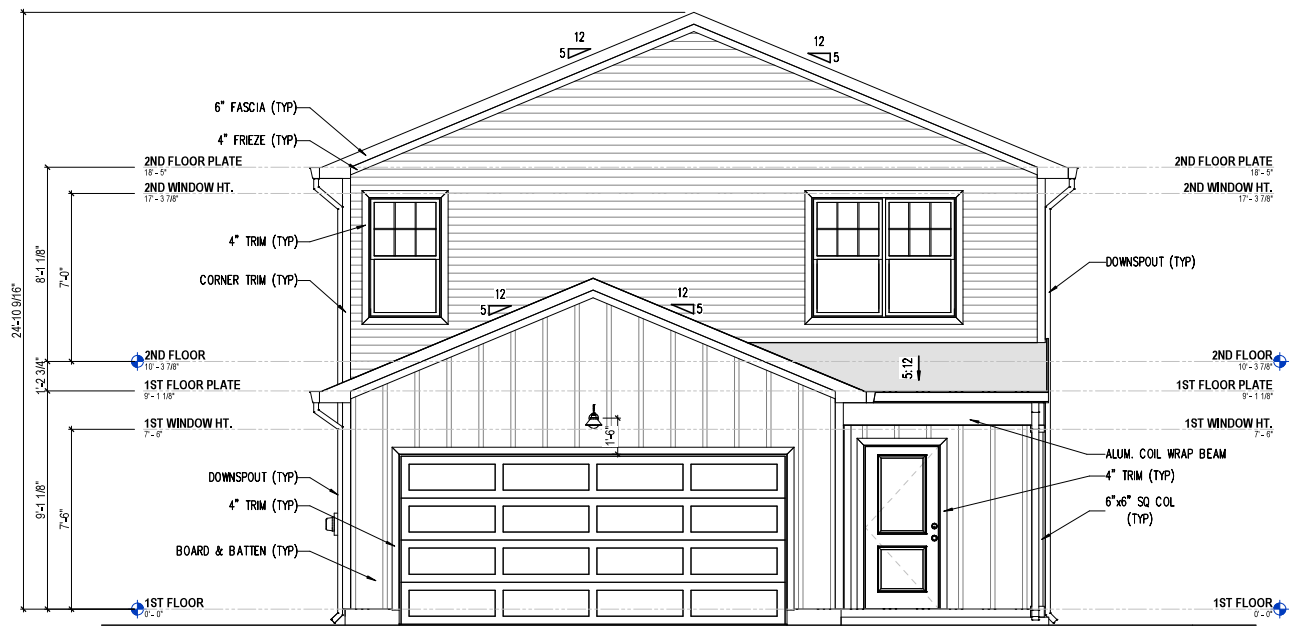
PRODUCT MANAGER	
CURRENT RELEASE DATE:	01/22/20
REV#	DATE/DESCRIPTION
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PROJECT TYPE
 Single Family

SPECIFICATION LEVEL

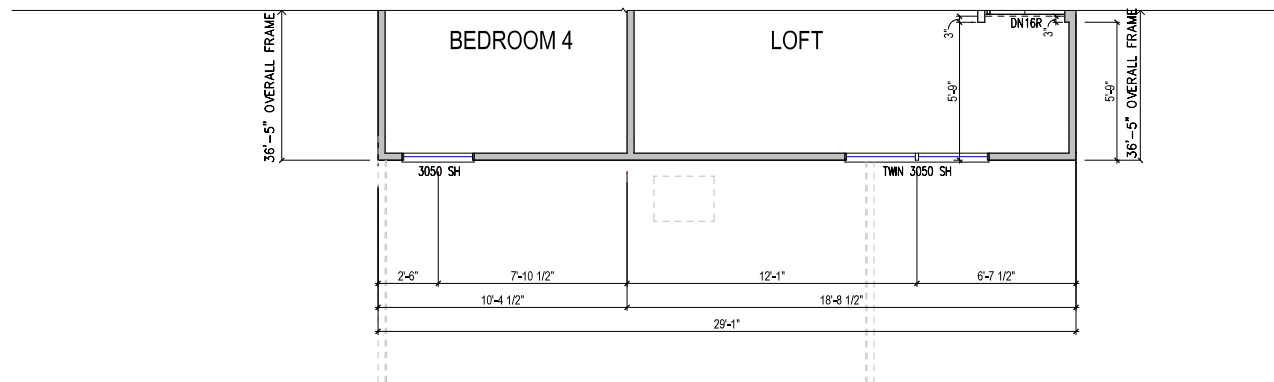
PLAN NAME
 Raven
 NPC NUMBER
 2771.700

SHEET
 A3-TR102-2F.01



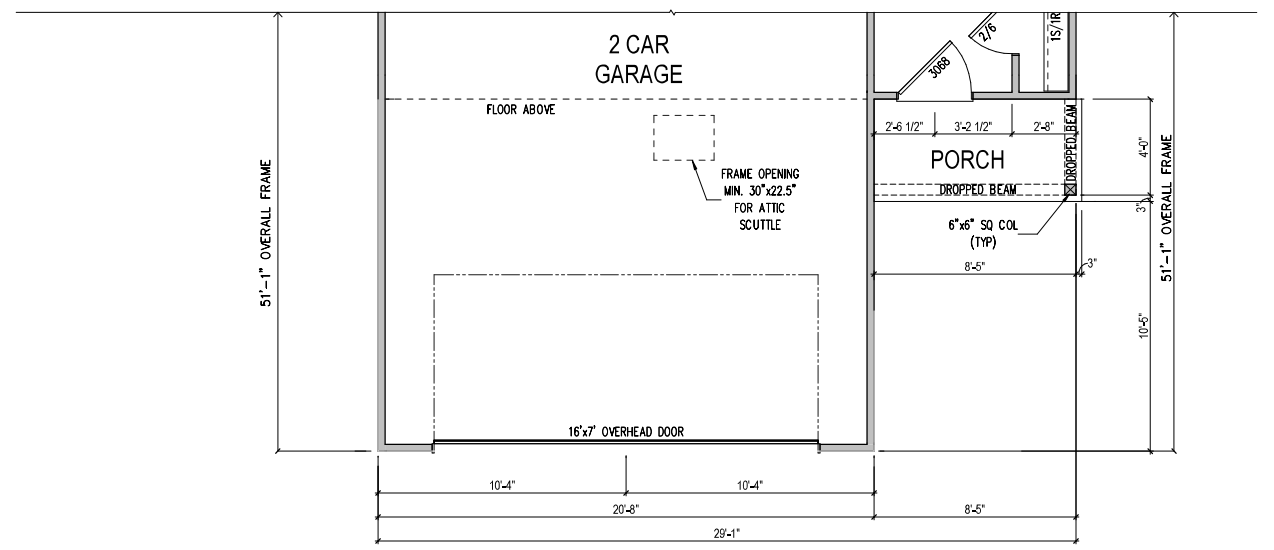
FRONT ELEVATION - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL SECOND FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



PARTIAL FIRST FLOOR PLAN - TR102

SCALE 1/4" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)

Preliminary- Subject to Change

ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION)
 W/ 40%-50% REQ. VENTS GREATER THAN OR EQUAL TO 3" ABOVE
 EAVE / CORNICE VENTS PER IRC R806.2

ELEVATION "TR102" 1059 SQ. FT. UNDER ROOF ATTIC /
 MAIN ROOF 300 SQ. FT. / 1 SQ. FT. = 3.53 SQ. FT. VENTILATION

RISE VENT 18 SQ. IN. = (.125 SQ. FT.)
 BOX VENT 50 SQ. IN. = (.3472 SQ. FT.)
 SOFFIT VENT 9 SQ. IN. = (.0625 SQ. FT.)

3.53 SQ. FT. x 50% = 1.765 SQ. FT. RIDGE, 3.53 SQ. FT. x 50% = 1.765 SQ. FT. SOFFIT

OR W/ H/P, BOX VENT
 1.765 SQ. FT. = 14.1 FEET OF RIDGE VENT 1.765 SQ. FT. = 5.1 BOX VENT(S)
 0.125 SQ. FT.

SOFFIT VENT
 1.765 SQ. FT. = 28.2 FEET OF SOFFIT VENT
 0.0625 SQ. FT.

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2

ATTIC VENTILATION: (300 SQ. FT. ATTIC SPACE / 1 SQ. FT. VENTILATION)
 W/ 40%-50% REQ. VENTS GREATER THAN OR EQUAL TO 3" ABOVE
 EAVE / CORNICE VENTS PER IRC R806.2

ELEVATION "TR102" 340 SQ. FT. UNDER ROOF ATTIC /
 GARAGE / PORCH ROOF 300 SQ. FT. / 1 SQ. FT. = 1.13 SQ. FT. VENTILATION

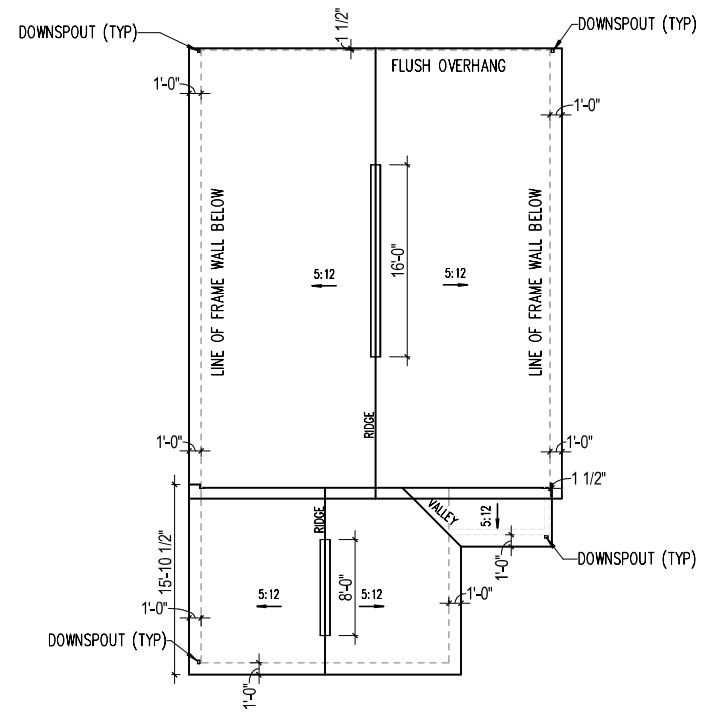
RISE VENT 18 SQ. IN. = (.125 SQ. FT.)
 BOX VENT 50 SQ. IN. = (.3472 SQ. FT.)
 SOFFIT VENT 9 SQ. IN. = (.0625 SQ. FT.)

1.13 SQ. FT. x 50% = 0.567 SQ. FT. RIDGE, 1.13 SQ. FT. x 50% = 0.567 SQ. FT. SOFFIT

OR W/ H/P, BOX VENT
 0.567 SQ. FT. = 4.5 FEET OF RIDGE VENT 0.567 SQ. FT. = 1.6 BOX VENT(S)
 0.125 SQ. FT.

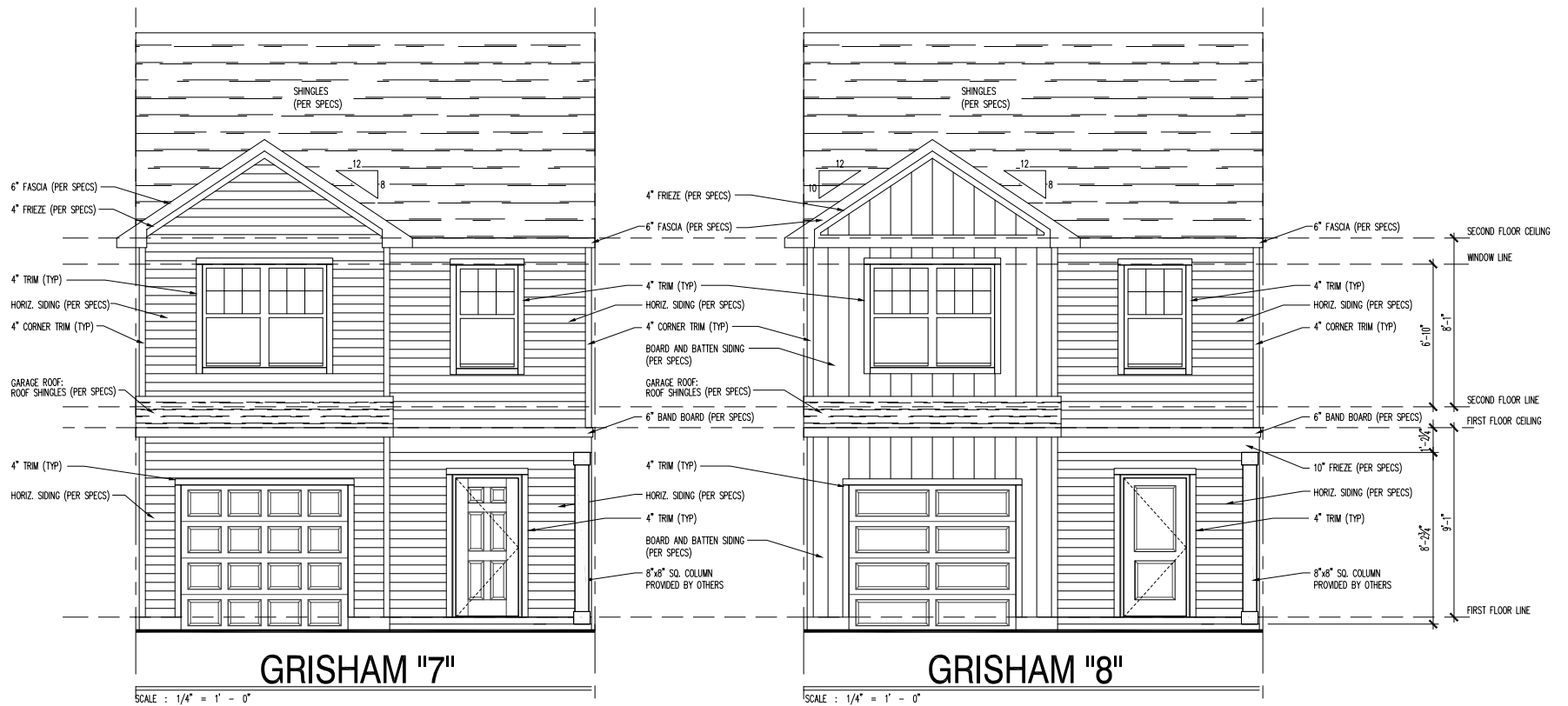
SOFFIT VENT
 0.567 SQ. FT. = 9.1 FEET OF SOFFIT VENT
 0.0625 SQ. FT.

*CALCULATIONS REFLECT 50% RIDGE AND 50% SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2

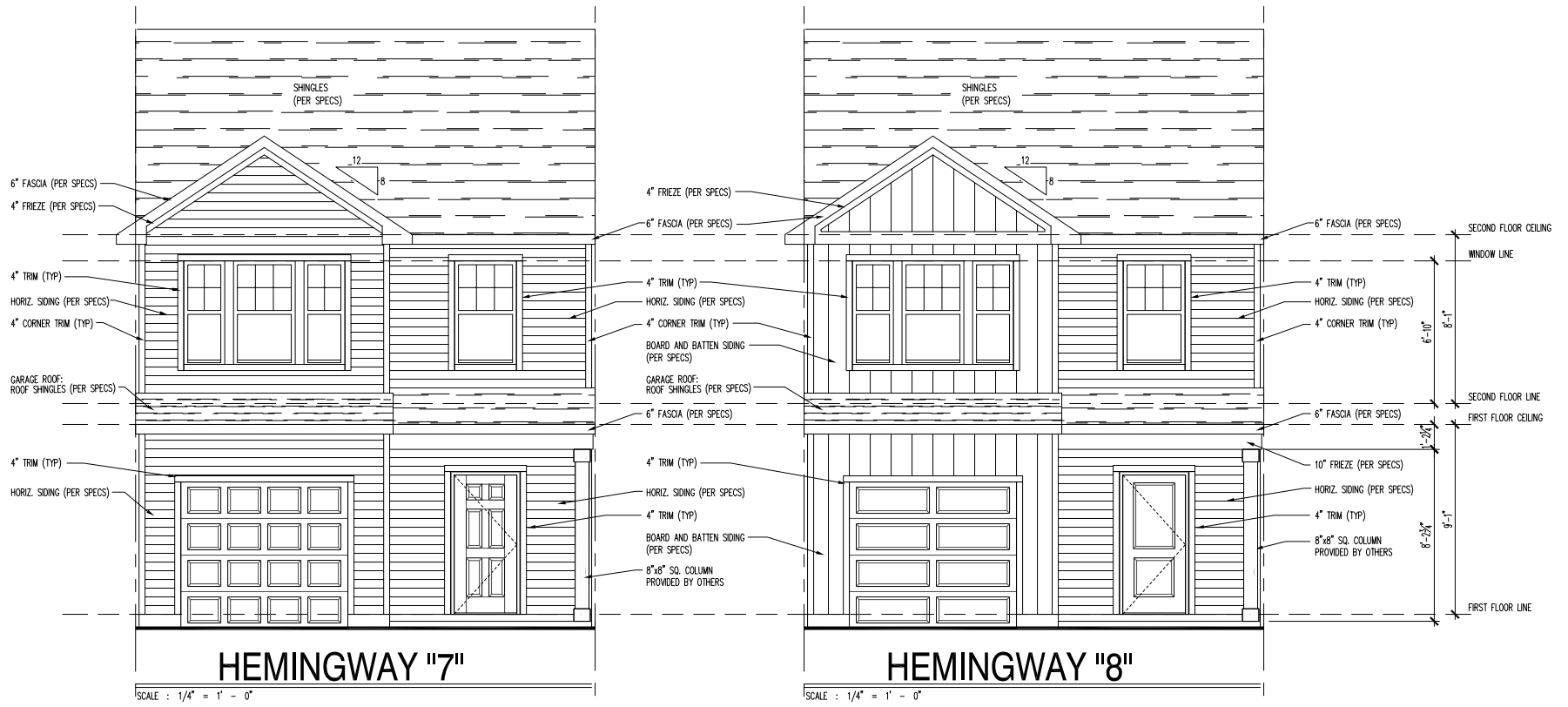


ROOF PLAN - TR102

SCALE 1/8" = 1'-0" (NOTE: SCALE 1/8" = 1'-0" ON 11x17 PAPER)



Preliminary- Subject to Change



Preliminary- Subject to Change











GRISHAM "7"

HEMINGWAY "7"

GRISHAM "8"

HEMINGWAY "7"

HEMINGWAY "8"